



Design Guidelines for the Historic Districts of Covington, Georgia

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Purpose

The purpose of the Covington Historic District Guidelines is to encourage architects, developers, or individuals contemplating restoration, remodeling, or new construction to maintain the architectural heritage of the structure and the districts. In order to maintain Covington's historic small-town feel, it is critical that the city preserve its historic built environment and unique character. With that goal in mind, Covington has designated two local historic districts (See local historic district map on page 18): the Covington Historic District and the North Covington Historic District.

These design guidelines are intended to assist the Historic Preservation Commission and property owners during the review process of properties within these local districts. These guidelines ensure that any alterations and new development will be compatible with, and complementary to, the integrity of Covington's historic commercial and residential neighborhoods. Covington's Historic Preservation Commission adheres to the Secretary of the Interior's Standards for Rehabilitation when reviewing proposals for alterations, additions, and new construction.

If a property is determined to be within one of the local historic districts, these guidelines will help direct the property owner through the process to obtain a Certificate of Appropriateness and ensure that any exterior alterations are accomplished in the most appropriate manner for preserving the character of the historic building and neighborhood.

The Secretary of the Interior's Standards For Rehabilitation

The Secretary of the Interior's Standards for Rehabilitation were published in the Code of Federal Regulations in October 1977. They serve as professional standards for evaluating appropriate and inappropriate rehabilitation practices on historic buildings, and provide a model upon which state and local governments may base their own standards. The Standards also serve as the foundation for decisions made by Covington's Historic Preservation Commission. Please see the Preservation Information section for the Standards for Rehabilitation.

Document Brief

These guidelines are organized as a series of chapters that are divided into rehabilitation, site and setting, additions, and new construction guidelines. While all properties regardless of their zoned use must follow these guidelines, there are specific guidelines in each chapter for commercial properties only. This protects Covington's historic downtown and main street commercial areas. Property owners are encouraged to research the section that is applicable to their specific project.

If a property is determined to be within one of the local historic districts, these guidelines will help direct the property owner through the process to obtain a Certificate of Appropriateness and ensure that any exterior alterations are accomplished in the most appropriate manner for preserving the character of the historic building and neighborhood.

These guidelines apply to:

Properties locally designated within the Covington or North Covington Historic Districts

Alterations, additions, and new construction that require the granting of a Certificate of Appropriateness (COA)

Application of Guidelines

These guidelines:

Assist the Covington Historic Preservation Commission in reviewing additions, alterations, and new construction proposals within the Covington and North Covington local historic districts

Guide property owners and developers in maintaining and rehabilitating historic structures in a way that does not compromise the buildings' historic integrity

Supply architects, developers, and contractors with information to assist with the design of new construction and additions that will complement the historic districts' existing built environment

Provide Covington with continuity, stability, and predictability as to how the local historic districts will grow and change.

Promote a sense of unity and pride in Covington's neighborhood and commercial districts

These guidelines do not:

Affect the actual use of the property

Regulate a property's paint color

Regulate a property's interior

Property outside the Covington or North Covington locally-designated districts.

Prevent property owners from making changes to their property

Prevent changes in use of the property

Prevent growth and development in historic districts

Prevent creative design solutions to construction projects in historic districts

Preservation in Covington

The Historic Preservation Commission

The nine Covington Historic Preservation Commission (HPC) members are appointed from the community by the Mayor and the City Council, and each member serves a term of three years.

The HPC is responsible for protecting the architectural integrity of the historic districts through the review of proposed repairs, alterations, additions, or new construction. An application for a Certificate of Appropriateness must be made when property owners are considering alterations to their property. Commission members will then review the applications to determine if proposed changes are consistent with the Secretary of the Interior's Standards for Rehabilitation and also consistent with locally adopted design guidelines.

The HPC can seek funds for historic preservation from local, state, federal, and private sources. Although the commission is tasked with a variety of duties, it considers the ongoing review of buildings, landscapes, structures, and sites for designation and listing on the National Register of Historic Places to be one of its chief duties.

Certificate of Appropriateness

In order to protect the defining character of its historic districts, Covington's Historic Preservation Ordinance requires that a Certificate of Appropriateness (COA) be obtained for any material changes to the exterior architectural features of any structure or site within a historic district. Material changes are defined on the following page.

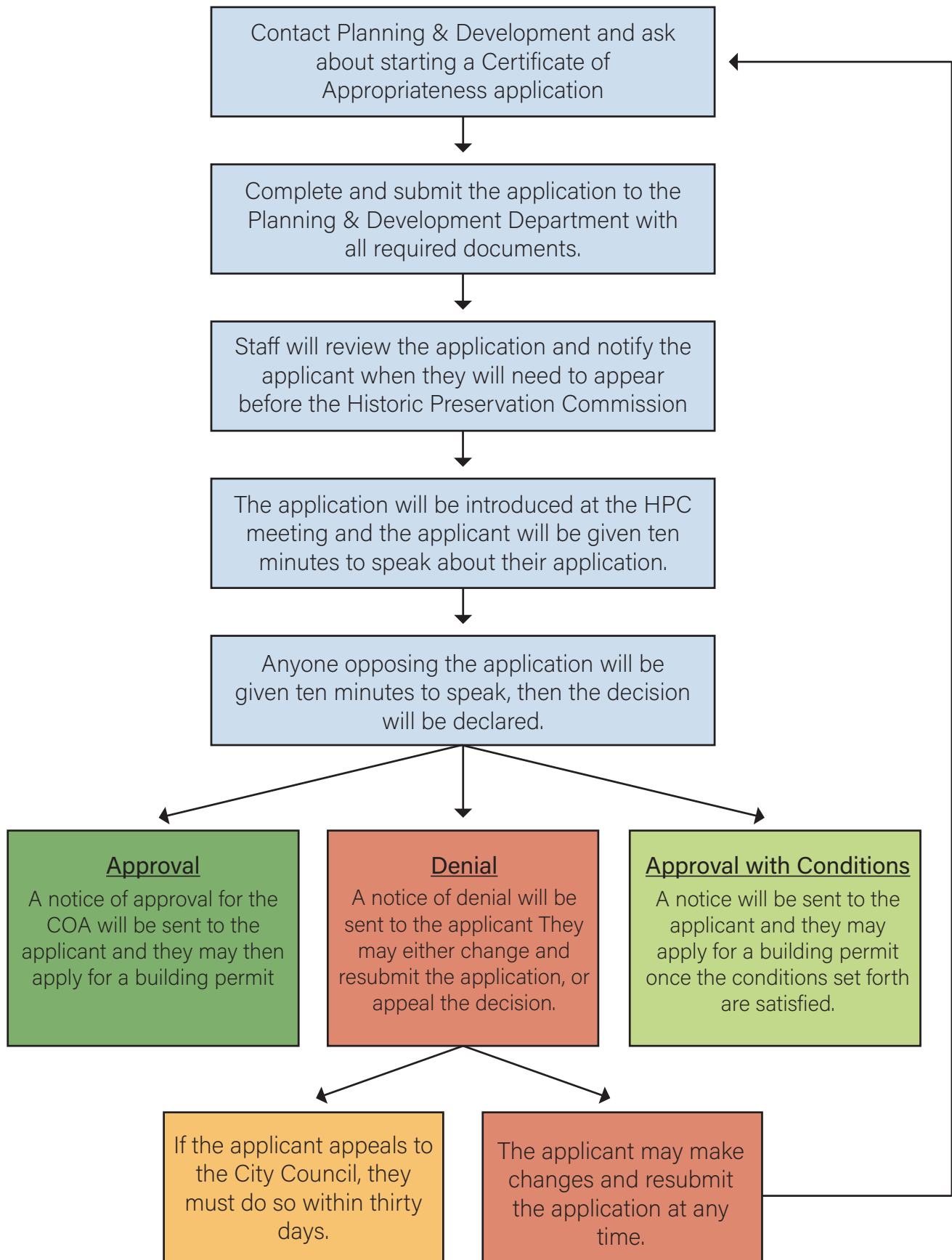
The Historic Preservation Ordinance also allows for some changes to be approved administratively by the staff, without going through a COA approval. For example, replacing asphalt shingle roofing with asphalt shingle roofing, as long as the roofline does not change, can be approved administratively. Exterior additions required by the Americans with Disabilities Act, or life safety additions required by the Fire Marshal (such as a metal fire escape) can also be approved administratively.

<u>Requires a COA:</u>	<u>Staff Level Review or Does Not Requires a COA:</u>
A reconstruction or alteration of the size, shape, or facade of a historic property, including relocation of any doors or windows, or removal or alteration of any architectural features, details, or elements, including the roof	Replacement in-kind, such as wood clapboard siding with wood clapboard siding of the same reveal
The erection, alteration, restoration, relocation or removal of any building or other structure within a designated historic district, including walls, fences, steps, and pavements, or other appurtenant features of a building or structure, except exterior paint alterations	Any interior alterations
Any exterior material change, such as wood clapboard siding to vinyl or cement-based siding	Painting the exterior or interior
Commencement of excavation	Minor landscaping such as planting shrubs, trees, or gardens
A change in the location or size of advertising on historic property visible from the public right-of-way	Routine maintenance, repair, or replacement in-kind
Erection of a fence or exterior illumination	Installation of a satellite dish
Major landscape improvements such as the removal of a large historic tree or the construction of a new driveway	Erection of a retaining wall (May require a building permit)
The addition to a structure including construction of a new porch	Installation of an A/C unit
Erection of signage such as ground signs, wall signs, or roof signs	The demolition of a structure if condemned by the city and Municipal Court

Certificate of Appropriateness Procedure

1. The property owner contacts the Planning and Development office and discusses whether a Certificate of Appropriateness is required for the proposed alterations
2. An application for the Certificate of Appropriateness is filled out by the property owner and submitted to the Historic Preservation Commission (HPC) with all required drawings, photographs, plans, and documentation before the next meeting.
3. Once an application has been submitted, the Planning & Zoning Department will review the application, and submit a written recommendation to the Historic Preservation Commission.
4. At least fifteen (15) days before reviewing the application, the HPC will erect a sign on the applicant's property informing the community of the time, date, and location of the public hearing. Also, notices of the hearing will be mailed to the applicant and any owners of property within 300 feet of the applicant's property.
5. At the public hearing, the applicant and all interested parties will be given an opportunity to be heard before the commission.
6. The HPC will make a decision to approve, reject, or approve the application with conditions within forty-five (45) days of the filing of the application.
7. A notice of the issuance or denial of the Certificate of Appropriateness will be sent to the applicant.
8. In the case of issuance, the applicant may then apply for a building permit and begin work on the property.
9. Sometimes the preservation commission may suggest alternative courses of action if it disapproves of the application submitted. The applicant may make modifications to the plans and may resubmit the application at any time after doing so.
10. In the case of a denial, the applicant may appeal such recommendations to the mayor and city council. Written notice of such appeal must be filed in the office of the city clerk within thirty (30) days next following the date such action is taken by the HPC.

Certificate of Appropriateness Procedure



Documents Required for a COA Application

A Certificate of Appropriateness Report to include a cover Sheet, table of Contents, and the components listed below;

- A boundary survey of the entire property and site plan showing the location of all site improvements (i.e., buildings, parking areas, pools, etc.)
- Elevation drawings, or pictures, of the existing structure and elevation drawings, or pictures of the proposed changes
- A list of finished materials being proposed for the project
- If exterior lighting is proposed please provide a photo and description of the lighting direction
- If the request is for the relocation of a building, structure, site or object(s) please provide photographs and a narrative explaining how the criteria of Section 16.52.280(C) are met
- If the request is for a demolition permit please provide photographs and a detail narrative explaining how the criteria of Section 16.52.280(D) are met. Also include a narrative description and supporting documents of the proposed use for the site after demolition
- If the request is for new construction, provide photographs and an explanation as to how the criteria of Section 16.52.280(E) are met

Covington's Historic Districts

A local historic district is designated by a local ordinance and falls under the jurisdiction of a local historic preservation commission. A local historic district generally overlays existing zoning classifications in a community.

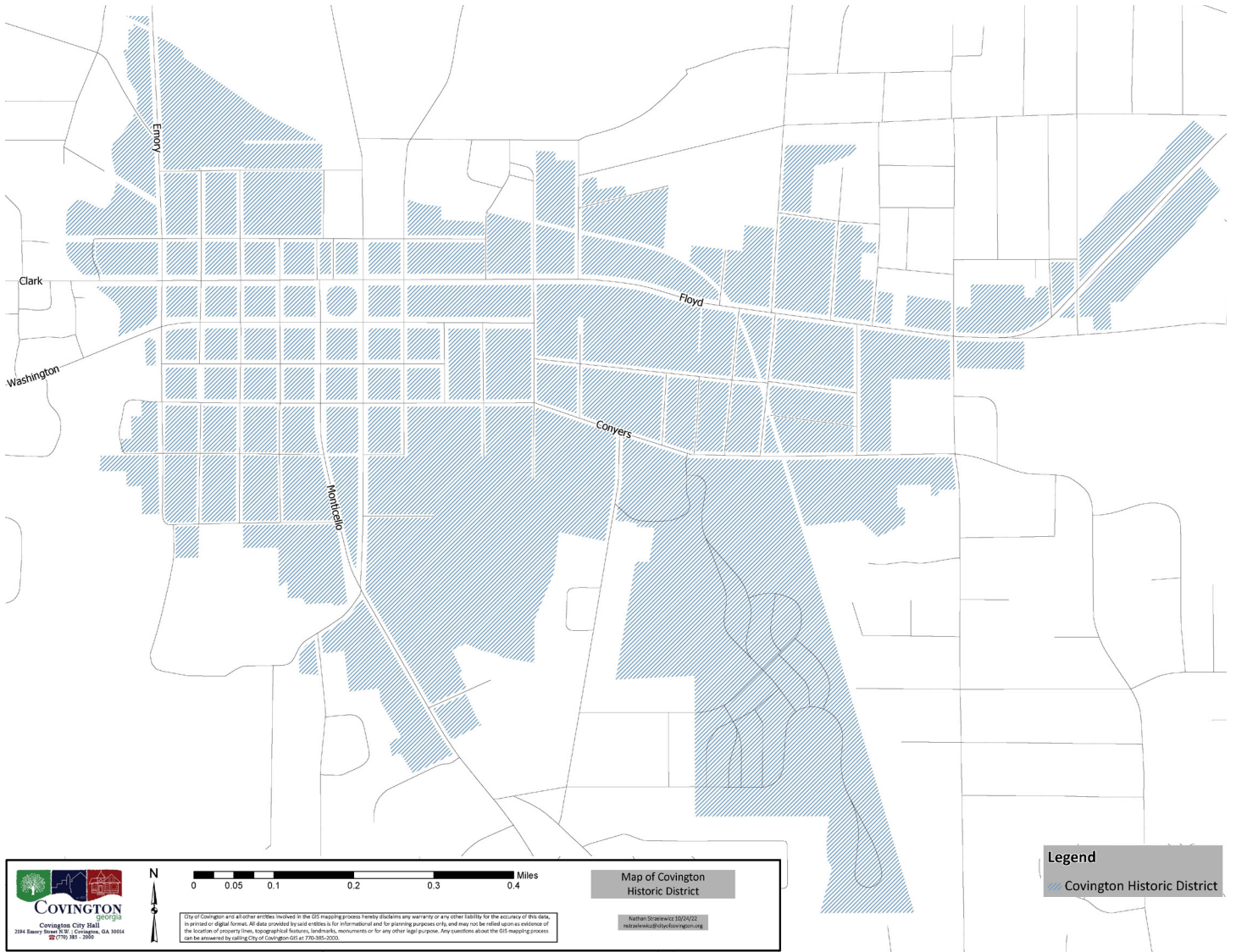
Therefore, a local historic preservation commission deals only with the appearance of the district, not with the uses of those properties. This is an important role in protecting the numerous and valuable historic resources found in Covington.

The North Covington Historic District



Covington's Historic Districts

The South Covington Historic District



Covington's Historic Districts

The South Covington Historic District

The Covington National Register Historic District was designated in August of 1998 by the National Park Service. The district is significant in architecture for its large variety of intact examples of commercial structures, residential structures, community landmarks, and transportation-related buildings. These reflect a number of types and styles constructed from the 1820s to the 1940s, some designed by prominent Georgia architects such as the Atlanta architectural firm Bruce and Morgan and J. W. Golucke and Company. The Covington Historic district was locally designated by the Historic Preservation Commission in April of 2000.



The North Covington Historic District

The North Covington Historic District is a small residential area located three-quarters of a mile northwest of downtown Covington, just north of U.S. Highway 278. With the arrival of the Georgia Railroad in 1844, and the later construction of the first Georgia Railroad Depot, the area known as Midway began to develop. This area is now known as the North Covington Historic District which was locally designated in April 2000.



2.0

REHABILITATION GUIDELINES

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REHABILITATION GUIDELINES

General Guidelines

This section addresses the rehabilitation of Covington's historic residential and commercial buildings. The integrity of a historic building is upheld by the identification, maintenance, and preservation of its character-defining features. While Covington's historic buildings have undergone changes over time in order to meet the needs of modern living and adaptive use, the lifetime of these buildings can be extended through thoughtful rehabilitation. Rehabilitation of a building's exterior should ensure its visual integrity and be compatible with the overall historic architectural character of the district. Repairs or alterations should retain historic features, materials, and finishes to enhance a building's historic character and make it compatible with surrounding structures. Keeping buildings in good repair positively affects the appearance of the area as a whole.

Recommended

Historic materials shall be maintained and preserved.

Repair is always preferred over replacement. Repair damaged areas with elements and materials of the same kind and type.

If a historic feature is missing, use pictorial documentation of the building's historic form to replicate it. If no such information exists, a simplified interpretation of similar features should be considered.

Removal of non-historic elements that obscure a historic facade is encouraged.

Not Recommended

Removal of historic features or covering historic features with new materials or signs that permanently alter the structure.

Replacement or reconstruction of any historic feature if it is not damaged beyond repair. If necessary, reconstruct the historic elements as accurately as possible using appropriate materials and the design of the historic building. Replication, if done with care, helps maintain the historic integrity of the building.

Materials

The exterior materials of historic buildings are character-defining elements that should be retained whenever possible. These materials should be rehabilitated when possible or replaced with like material if they can not be. Common building materials on Covington's historic buildings are brick, stone, stucco, cast iron, and pressed metal.

Recommended

If replacement is necessary, compatible materials should be used that are in-kind to existing materials in matters such as shape, color, texture and substance.

Masonry that is already painted should be maintained.

Attempts to repair masonry should be undertaken before replacement. When replacement is necessary, all efforts should be made to replace in-kind with material that is similar in composition, size, shape, design, and texture.

Restoration or reconstruction of historic architectural details is encouraged when they can be confirmed by historic documentation.

Elements highlighting the history of buildings or their elements and materials (such as stampings, engravings, or plaques) should be maintained and preserved.

Not Recommended

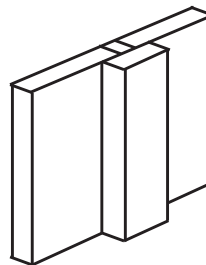
Adding new materials to a building to give it a false historical appearance. Similarly, adding materials or elements to a building that correspond to a different architectural style or historic time period.

Stain applications should be avoided unless they are the historic treatment for the structure.

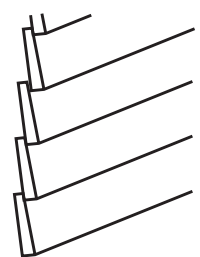
Covering historic exterior building surfaces with new materials such as wood or vinyl siding, synthetic stucco, or stone. Sandblasting to clean or remove paint from brick buildings as harsh cleaning methods can physically damage masonry.

Painting masonry walls that have not been previously painted.

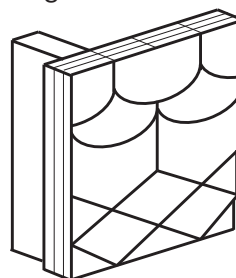
Board and Batten



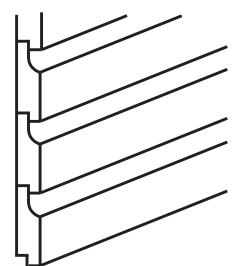
Lap Siding



Shingles



Novelty Siding



Foundations

Foundations of historic buildings may help in identifying the style and period of a structure. The foundations often vary. Their height, materials, features and details of the foundation all contribute to a building's historic character.

Recommended

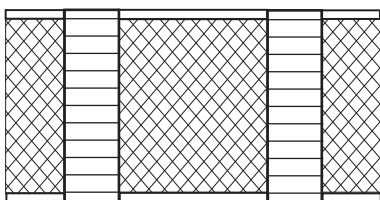
The original character of the foundation should be maintained by selecting compatible materials for repair. Compatible materials should be in-kind to existing materials in matters such as shape, color, texture and substance.

Brick or other masonry foundations should be repointed with a mortar similar to the historic mortar, both in strength and color to preserve historic integrity.

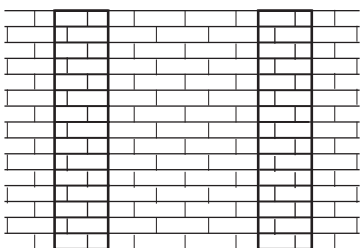
If necessary, open foundations may be enclosed with material compatible with the foundation, siding and porches. The materials used to fill in the foundation should be recessed several inches to delineate the piers from the new infill.

Appropriate:

Wood Lattice

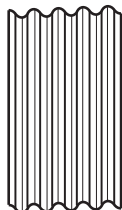


Brick



Not Appropriate:

Metal



Plywood



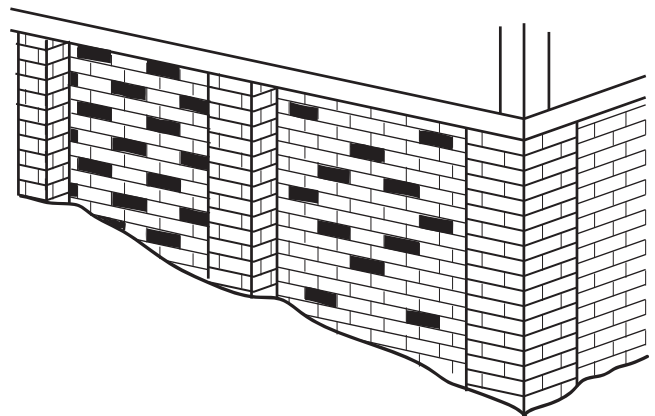
Not Recommended

Painting previously unpainted foundations or covering them with non-historic materials such as stucco or vinyl.

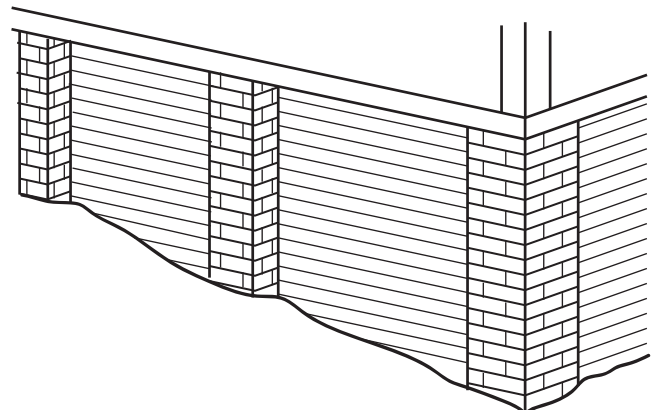
Using Portland cement to rehabilitate historic mortar.

Cleaning soiled, discolored or painted masonry, and stone surfaces using high pressure cleaning methods such as sandblasting.

Brick Pier Foundation with Pierced Brick Wall as Infill



Brick Pier Foundation with Solid Wood Siding as Infill



Porches

Porches are an extension of the house and provide additional living space. Size and location of porches help define the character, style, and era of a building. It is important to note that not all historic styles included porches. A porch may be a principal component of a building's façade and counts as a historic feature should be maintained.

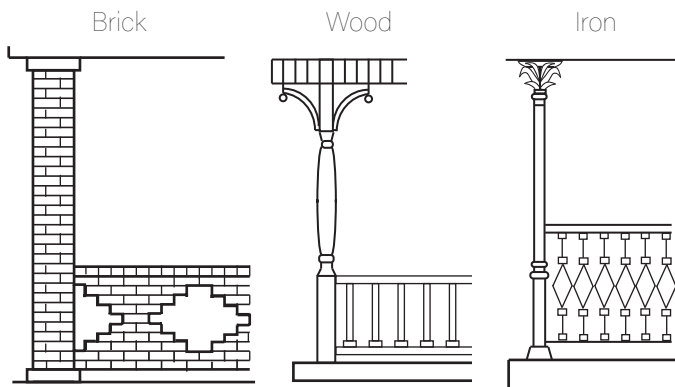
Recommended

Historic porches, and their decorative architectural details, shall be maintained and preserved.

Repair rather than replacement is recommended. If historic elements must be replaced, replace in-kind.

Similar historic materials should be used to preserve the historic character of the porch.

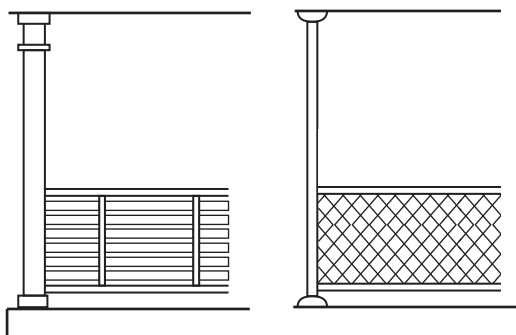
Appropriate:



Not Appropriate:

Aluminium Column and Railings

Chain Link Fencing



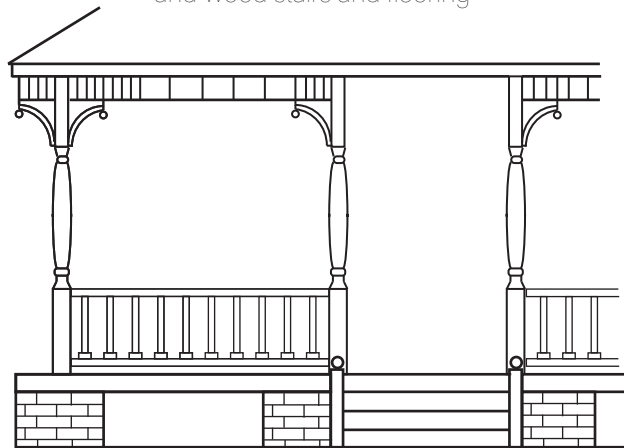
Not Recommended

Adding decorative elements that are incompatible with the original architectural style of the building or add a false historic appearance.

Enclosing porches is not recommended, but will be considered on a case by case basis.

If enclosure is permissible, solid materials that detract or obscure the façade are not appropriate.

Appropriate: Shaped wood columns, railings, and wood stairs and flooring



Not Appropriate: Metal columns, railings, and concrete stairs and flooring



Roofing

The roof is one of the main identifying elements of a historic structure. Altering the roofline's pitch, shape, or materials greatly affects the integrity and overall appearance of an individual structure, as well as disrupting the streetscape. Nineteenth-century roofing materials in Covington included wood or slate shingles, or standing seam metal. Twentieth-century roofing materials in Covington included wood, slate, metal, asphalt shingles. Most commercial buildings in Covington have flat roofs with stepped-back rooflines towards the back of the building. Parapet walls are also a common feature. Regular roof maintenance and attentive repair of roof damage will help preserve historic building materials.

Recommended

Retain and preserve the original shape, line, and pitch of overhang of historic roofs.

Retain and preserve historic stylistic elements such as dormers, chimneys, brackets, and cornice.

When possible, repair, rather than replace existing roof materials. If historic roofing materials are removed, always replace in kind.

Roof additions such as solar panels and skylights are permitted, but they must be as flat as possible so they are not visible from public view.

Use compatible roofing materials, such as composition shingles, if there is no evidence to identify historic roofing material.

Installation of new gutters or downspouts should not detract from the historic integrity of the structure.

Repair cornices in a manner that retains their historic elements and maintains the overall cornice pattern across the roof line.

Not Recommended

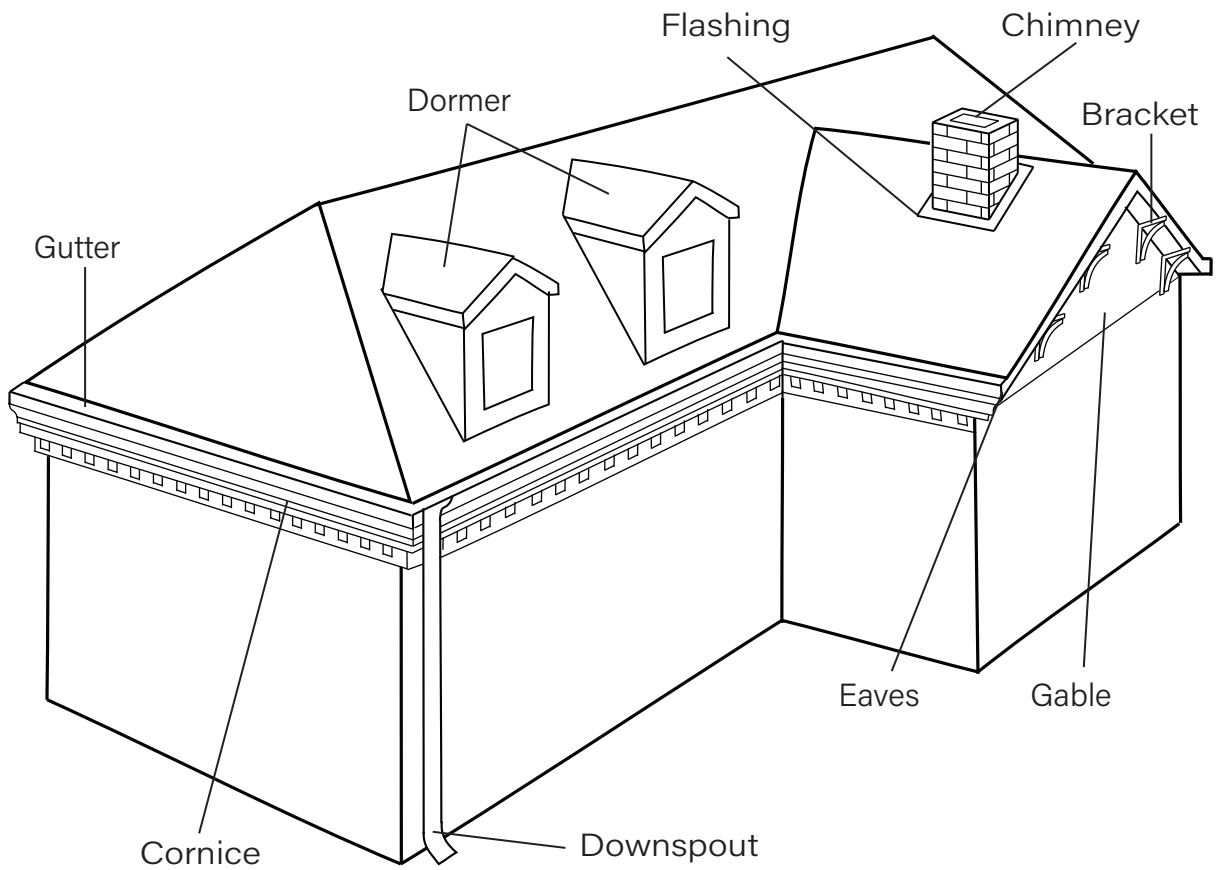
Alterations or improvements made to roofs that alter the roof shape or pitch in a manner that compromises the building's historic integrity.

New roof features that are visible and diminish the original design as seen from the public right-of-way. This includes, but is not limited to: dormers, skylights, solar panels, and satellite dishes.

Changes and alterations which affect the original shape, line, and pitch of overhang of historic roofs.

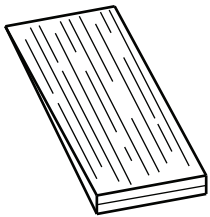
Using non-traditional building materials for replacement chimneys instead of brick, stone or other materials that duplicate the appearance of the historic feature.

Roofing Guidelines Continued

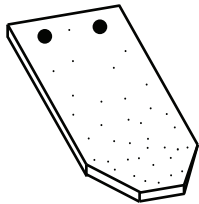


Appropriate:

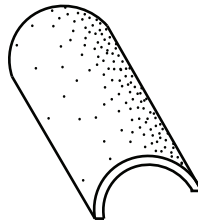
Wood



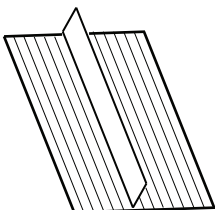
Slate



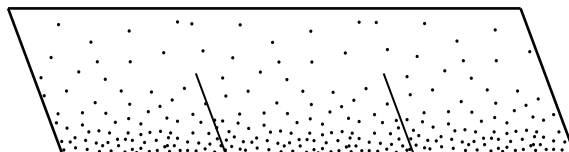
Tile



Metal

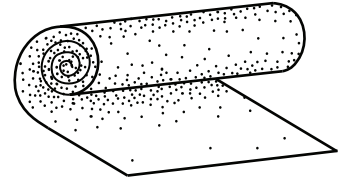


Asphalt

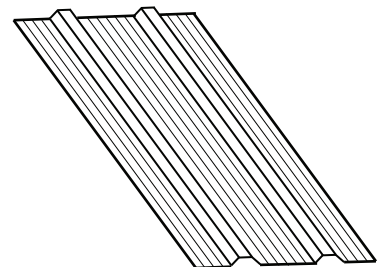


Not Appropriate:

Asphalt Roll Roofing



Corrugated Metal Roofing



Facades

The primary and secondary façades cover the exterior of a building. This includes all elements that contribute to the face of the building, such as window and doors, materials, architectural details, and porches. The façade is a combination of these elements and the materials used can be dictated by the overall architectural style. Likewise, commercial storefront facades are also character-defining features within the downtown commercial area. Whenever possible, historic storefront components should be maintained as inappropriate changes can disrupt the rhythm of the district's streetscape.

Recommended

Replacement of materials should be in-kind and should match the historic size, shape, visual quality, and grain.

Original locations of entryways, transoms, and windows should be maintained.

When repairing or replacing damaged wood siding, use material that matches the width, thickness, texture, placement, and design of historic material in the reveal area located between door or window trim.

When repairing brick, similar color and strength of materials should be used. All repairs to the original mortar shall be compatible with the existing mortar material in strength, composition, color, and texture. Original mortar joints shall be duplicated in width and in joint profile.

It should always be attempted to reconstruct historic facades and storefronts by using historic photographs or other documentation. This should consist of simplified approximations of era appropriate facades that resemble surrounding historic buildings.

Not Recommended

Failing to retain and preserve any historic features and elements of the buildings' facades and storefronts, such as doors, windows, signs, pilasters, columns, and entries that contribute to the overall character of the building or district.

Covering or removing display windows and transoms, or enclosing them with a false front.

Moving or altering the locations of entryways, transoms, and windows.

Covering bulkheads with an incompatible material, or one that is susceptible to damage or decay is not appropriate.

Inappropriate replacement materials that obstruct or cover up decorative elements such as soffits and cornices.

The covering of historic siding or masonry with aluminum, vinyl, brick, or asphalt shingles, or other synthetic materials.

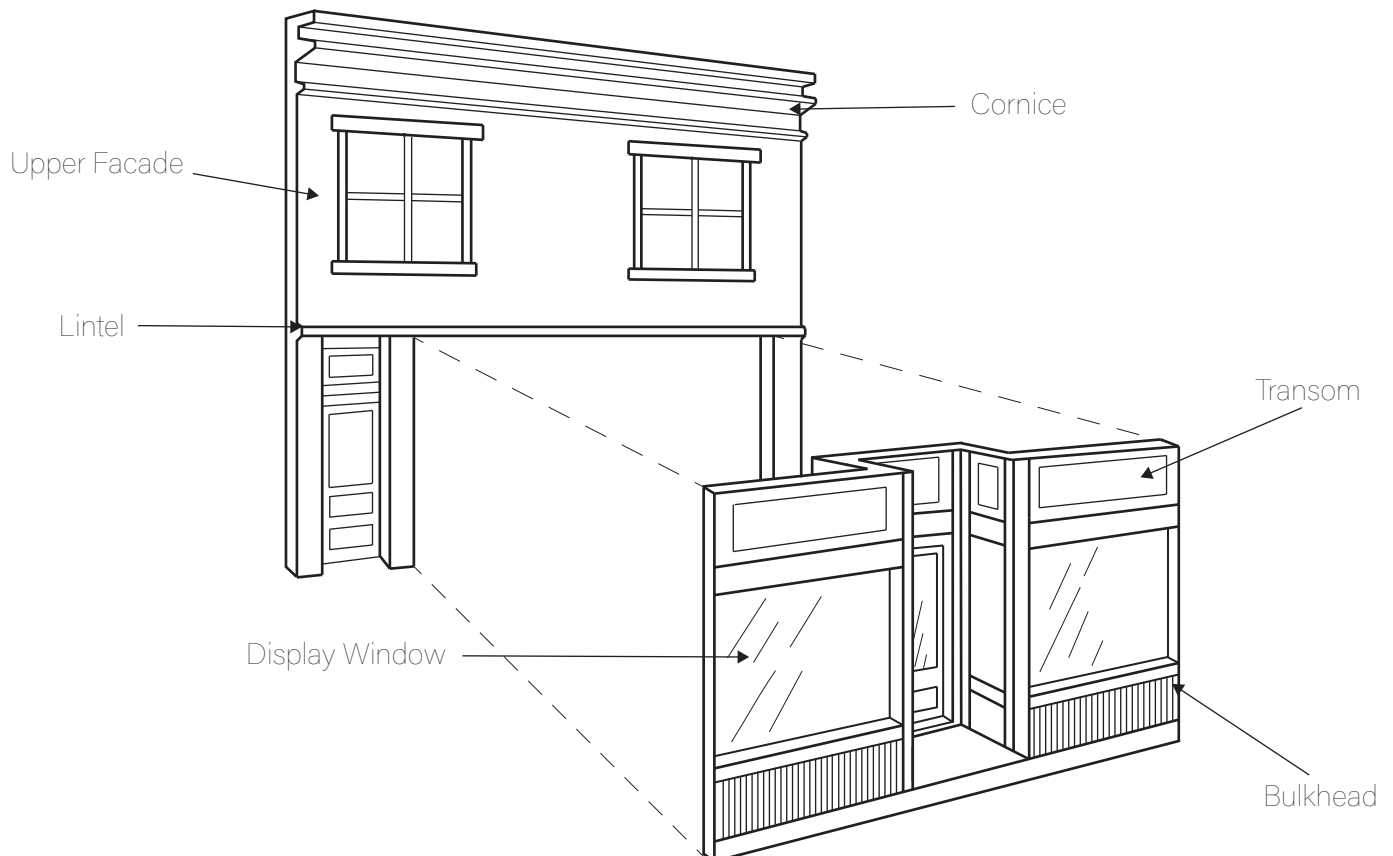
Adding elements to a building to give a false historic appearance.

Facade Guidelines Continued



Facades should have visually compatible porches, bays, dormers, chimneys, and cornices.

Storefront Facades:



Ornamentation

Ornamentation, and other architectural details, add defining characteristics to the facade of a building and can help determine its historic style and time period. Details are made from an assortment of materials such as iron, wood, and stone, and this ornamentation can take the form of spindlework, gingerbread, columns, pilasters, elaborate brick patterns, and chimneys. The primary goal is to maintain these architectural and ornamental details of historic buildings, many of which impact a specific architectural style.

Recommended

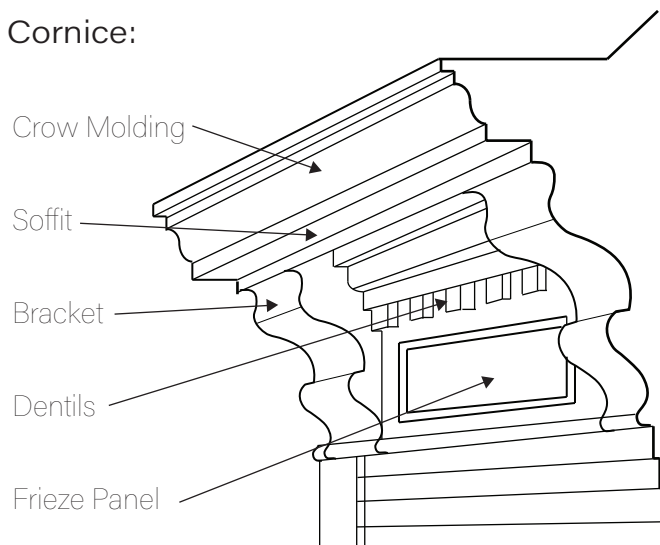
Historic architectural details and ornamentation should be maintained and preserved using like materials, design, and craftsmanship.

Repair rather than replace architectural details. Repair damaged areas with elements and materials of the same kind and shape. This includes replacing damaged brickwork and decorative stone with matching material that maintains the historic design.

Reconstruct missing details when historic documentation of those elements is available.

Maintain and preserve murals or advertisements on commercial properties that contribute to the property's historic value.

Cornice:

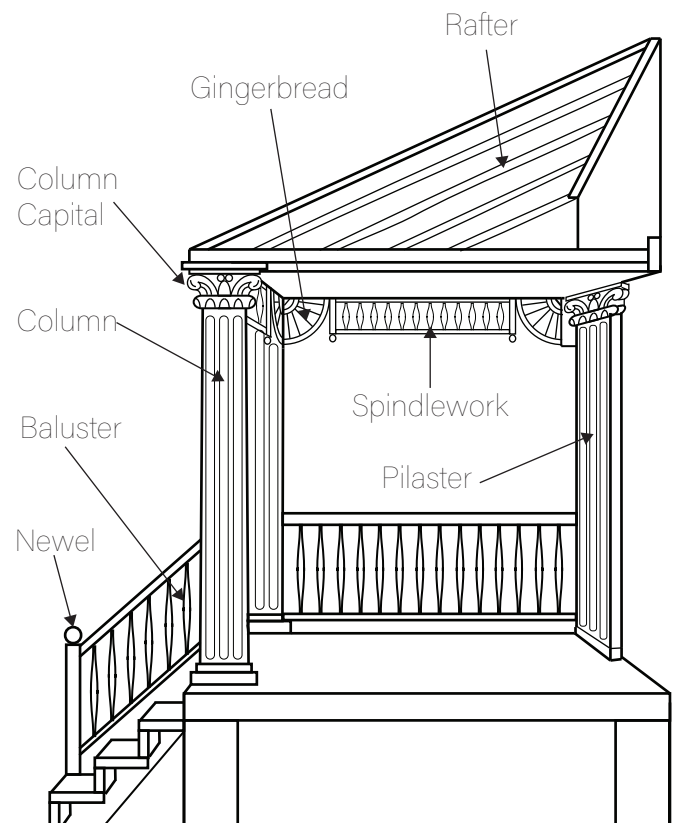


Not Recommended

Obscuring architectural details and ornamentation with additions.

Architectural details that give a false historical appearance. Removal of non-historic elements that confuse or obscure a historic facade is encouraged.

Altering historic architectural details in a manner that detracts from the building's historic appearance.



Doors

The material and locations of doors are often character-defining elements and are important to the integrity of a building. Their location should remain consistent with the historic design. Not only the door, but also the door surrounds greatly contribute to the character of a historic façade and should not be enclosed, reduced, or enlarged in size. Overall, all aspects of historic doors should be maintained and preserved.

Recommended

Openings should be retained, and the orientation of the opening to the street should not be altered or moved.

Historic doors and their surrounds such as sidelights, fanlights and transoms should be maintained and preserved.

Materials and hardware, such as knobs and hinges, of a door should be maintained and repaired if necessary.

If replacement of a historic door is necessary, the replacement should match the historic door in size, shape, materials, and panel and glass patterns. If possible, historic hardware should be reused in a new door.

In commercial buildings, entrances should be accessible in accordance with the Americans With Disabilities Act (ADA). Furthermore, new openings should not be added unless an additional opening is necessary to meet the requirements.

Not Recommended

The installation of non-historic doors with ornate details and/or window features. This confuses or obscures a historic facade and gives a false historical appearance.

The installation of new door surrounds unless there is sufficient historic evidence supporting their existence.

Altering key characteristics of the door such as its size and frame.

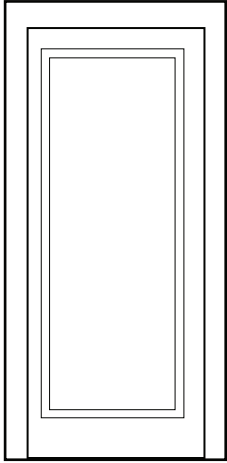
Completely obscuring historic doors by adding storm doors or screen doors.

Using non-historic materials for new or replacement doors. If available, refer to historic photographs to determine the door's historic materials and design elements.

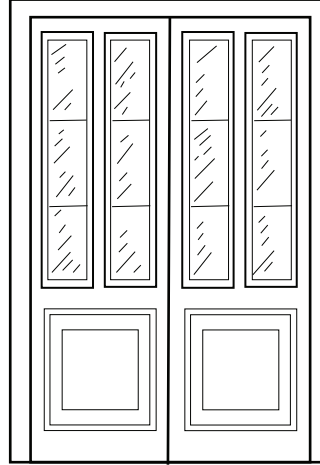
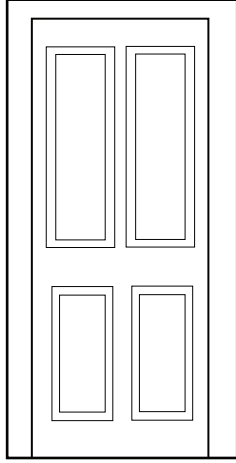
Changing the location or size of openings unless this restores them to their historic configuration.

Door Guidelines Continued

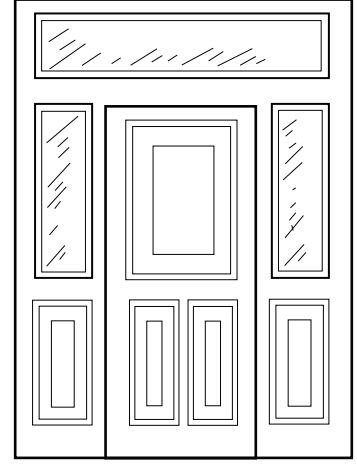
Appropriate Types of Doors:



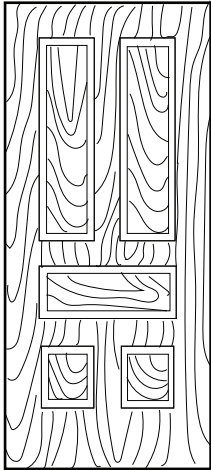
Wood Paneled



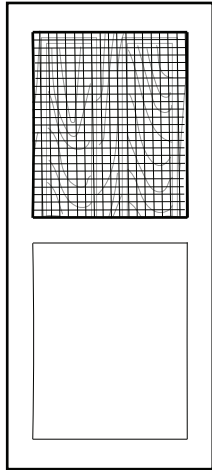
Glass Paneled



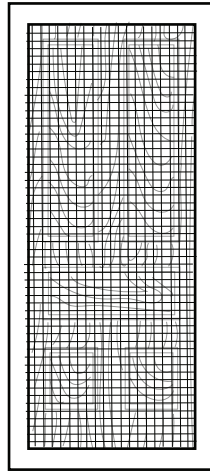
Sidelights and Transom



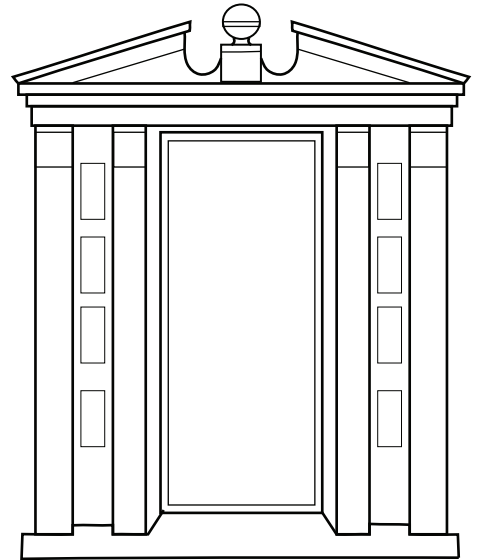
Original Door



Inappropriate
Screen Door



Appropriate
Screen Door



False Historic Appearance
Door Surrounds

Windows

Windows are character-defining elements on the façade of a building. Maintaining their size and location, the shape of the opening, the number of lights and arrangement, window surrounds and molding, and type are key to the integrity of a property.

Recommended

Existing windows should be maintained and should only be replaced when they cannot be rehabilitated.

If windows must be replaced, replacements should be the same size, style and materials as the historic window.

Historic glass should be preserved. If replacement is necessary, new glass should be of similar transparency, thickness, and design as the historic.

Windows should retain their historic configuration of panes should be the same as the historic window with the frame, mullions, and muntins of the same dimensions.

Depending on the age of the building, wood or metal is the preferred material for replacement windows.

If storm windows or security bars are added, they should be painted to match the window trim of the historic windows or be added in the interior to prevent them from obscuring historic details on the exterior.

Not Recommended

Removal of any original window details, such as decorative work or sheet metal hoods, which should instead be preserved and maintained.

Adding snap-in muntin windows instead of individual pane windows in a traditional muntin grid.

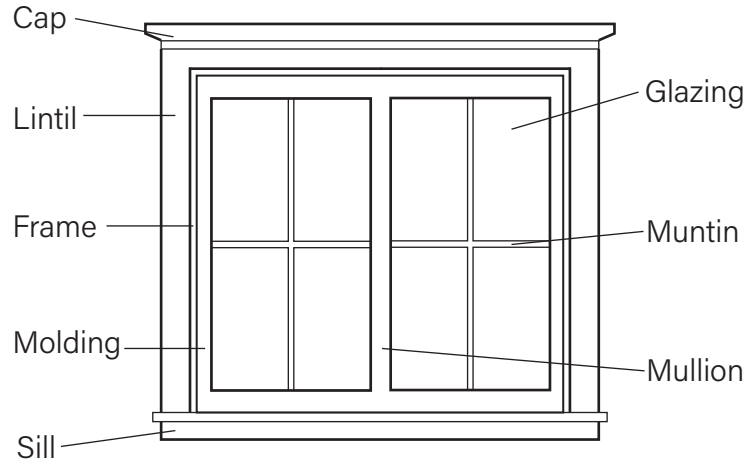
Additions such as storm windows, screens, or security bars that obscure the character of the historic window, or detract from it.

Filling in or altering the size of historic openings, especially on primary facades. inappropriate.

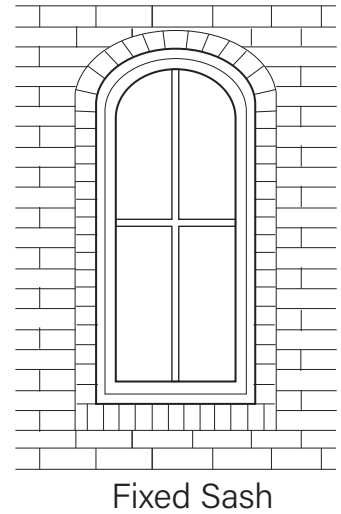
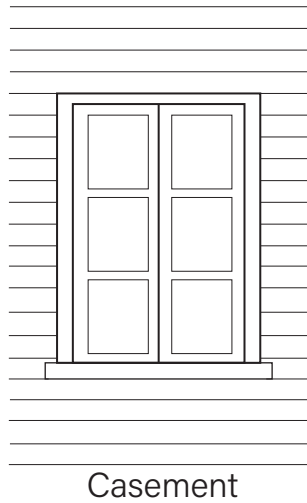
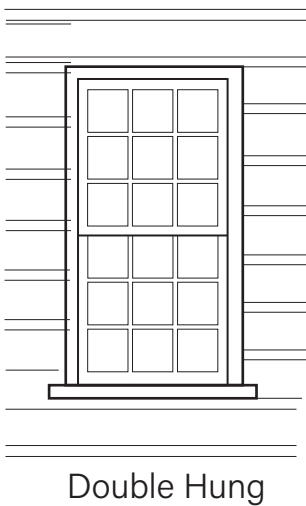
Replacing historic glass with tinted or mirrored glass.

Covering or enclosing historic window openings, store fronts, display windows or transoms.

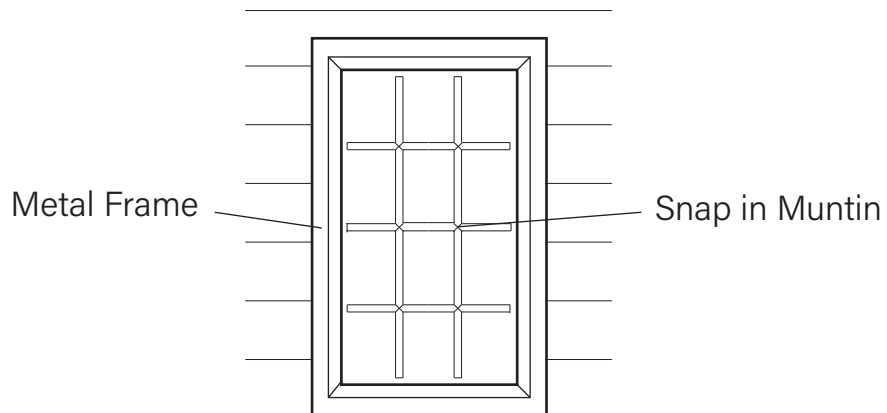
Window Guidelines Continued



Appropriate Windows:



Not Appropriate Windows:



Shutters

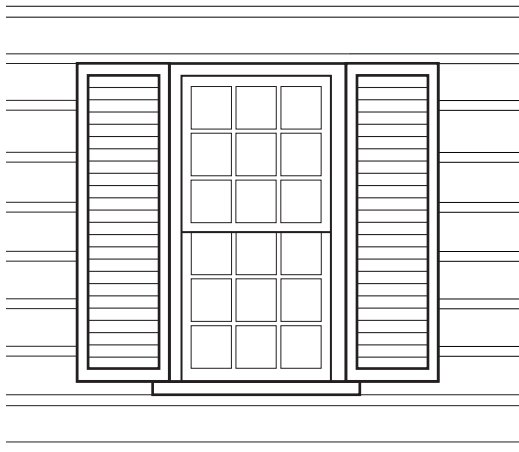
Shutters are a functional part of a window that have historically been used to block sunlight and protect windows from damage. These character-defining elements are integral to the property and should be properly maintained in their size, location, and material.

Recommended

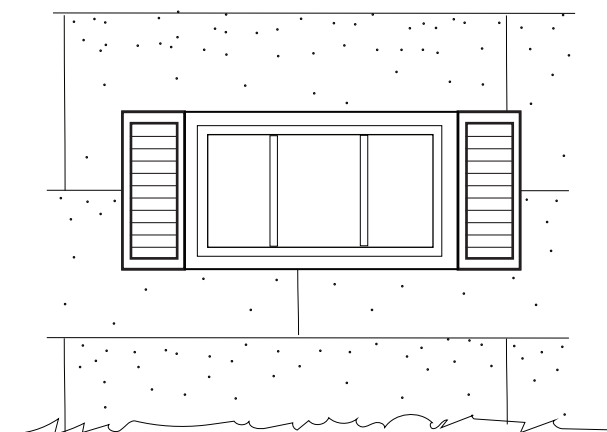
Historic shutters should be maintained and should only be replaced when they cannot be rehabilitated.

Shutters should be proportional and similar in size to the window opening.

If historic shutters must be replaced, the replacement shutters should be of wood and an appropriate style.



Appropriately Scaled Shutters



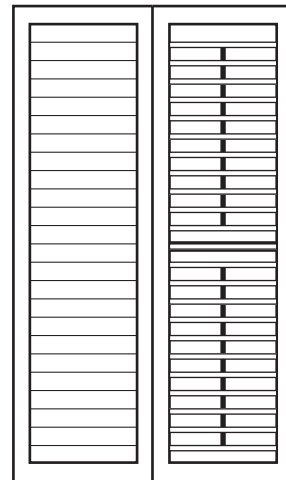
Inappropriately Scaled Shutters

Not Recommended

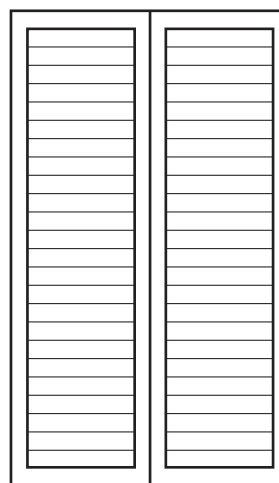
Shutters that are too small to feasibly close and cover the window opening.

Using modern materials such as vinyl for replacement shutters.

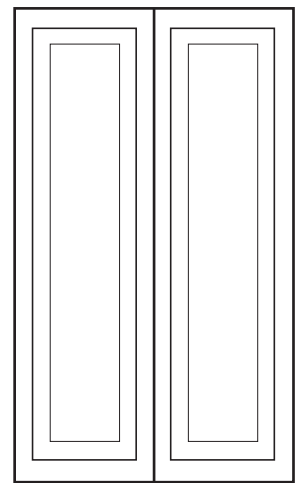
Added shutters that were not a historic feature of the building originally.



Operable Wood Louver



Fixed Wood Louver



Solid Wood Panel

Awnings

*Applies to
Commercial
Properties

Historically, awnings were common features on commercial buildings in the Covington Historic District. Around Covington Square, awnings vary in color, although shades of green and red are the most common. Awnings provide natural climate control and shade. Historic awnings and canopies should be maintained and preserved. When storefronts are rehabilitated, it is recommended that any non-historic canopies of wood or metal be replaced with fabric awnings.

Recommended

Fabric or canvas awnings must be of durable quality.

Awnings shall be attached to the building above the display windows and below the storefront cornice, sign panel, or the second story window sills.

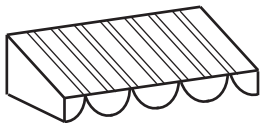
Where appropriate, awnings may simply cover the entry and not the entire storefront; or, alternatively, may cover the display windows of the storefront but not the entry.

A standard street-level awning should project four to seven feet from the building and should be a minimum of seven to eight feet above the sidewalk.

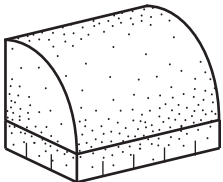
Awning signs must be painted or installed directly on the valence of the awning.

Appropriate:

Traditional Fabric Awning

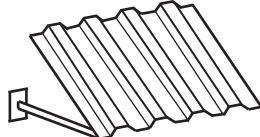


Barrel Fabric Awning

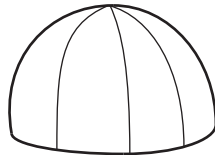


Not Appropriate:

Metal Awning



Dome Awning



Not Recommended

Awnings that cover the storefront cornice, the piers, or other key ornamentation.

Installing metal, plastic or backlit plastic awnings.

Awnings shapes that don't match to the form of window or door openings; such as dome awnings.

Using light and internal illumination within or on awnings.



Signage

*Applies to
Commercial
Properties

Traditionally, signs were used as a means for advertising a company, or to entice people into places of business. The use of signs in commercial districts is crucial to their history since they not only comprise one visual aspect of the cityscape, but also because they represent the people behind them, their vocations, and the types of establishments that sustained the community. Commercial signs are a fundamental element of buildings within the district, and represent the diversity of a city's businesses, as well as the overall historic character of a downtown.

Recommended

Existing historic signs should be preserved and maintained.

The materials used for commercial signage should be respectful of the building that they are associated with as well as those adjacent to it within the historic district.

Signs should respect a building's history, photographic evidence should be used whenever possible to adhere to the original concepts as they pertain to the visual streetscape.

Ground signs, whether post-and-beam type, pole-mounted, or monument type, are appropriate, and should conform to Chapter 16.48 of the Covington Municipal Code dealing with signs.

Signs can be illuminated with low profile external fixtures that are directed away from streets and adjacent properties.

Not Recommended

Signage that obscures any architectural elements designed to enhance the appearance of a historic commercial building.

Signage sizes that overwhelm the appearance of the building, or are disproportionately smaller than the surface area of the respective façade.

Signs placed directly onto buildings of historically residential character.

Signs using any forms of internal illumination.



3.0

SITE AND SETTING GUIDELINES

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SITE AND SETTING GUIDELINES

General Guidelines

Site and Setting refers to the physical arrangement of character-defining elements within a single residential property, as well as in their relation to the public spaces of a historic district. The needs of property owners, as balanced with the following guidelines, will ultimately reflect a neighborhood’s historic character and will rely on these two elements as fundamental to their preservation and cohesion.

Site elements, such as driveways, landscaping, and fences, refer to the individual structures and elements on a particular property.

Setting characteristics represent the visual relationships that these elements have to corresponding properties, as well as the historic district in general.

Recommended

Retain historic elements and replace in kind when repairs are necessary.

With any design change, always consider the potential for adverse impact on neighboring properties and the district as a whole.

While preservation and maintenance of these elements is an integral part of the site definition, it is also important to recognize spatial relationships and the use of materials and scale to ensure a complementary relationship between contributing features.

Not Recommended

Removing historic elements from a historic site.

Changing city-owned properties such as sidewalks, landscaping features, and streetlights since they are not subject to design review.

Landscaping

Landscape elements provide a context for historic houses, complementing a property's overall character. Landscapes include trees, shrubs, annual and perennial plantings, and hardscapes not connected to structural components of the house. Since landscaping and residences have a traditional relationship that enhances not only each individual property, but also the visual aspects of the shared historic district in general, landscapes and their elements should be sensitive to a house's style, size, and setting. While the plantings and landscapes of Covington's commercial district are largely a product of the city, additions such as container gardens and other plantings meant to beautify places of business should reference the following guidelines

Recommended

It is recommended that trees, shrubs, and other plantings within existing landscapes be maintained to promote the health and longevity of specimens.

Native species should be used since they represent the traditional character associated with historic properties and districts.

While the city of Covington's Historic Preservation Commission does not regulate residential landscapes, all efforts should conform to the City of Covington's Tree Ordinance located in Chapter 18, Section 45 of the Code of Ordinances.

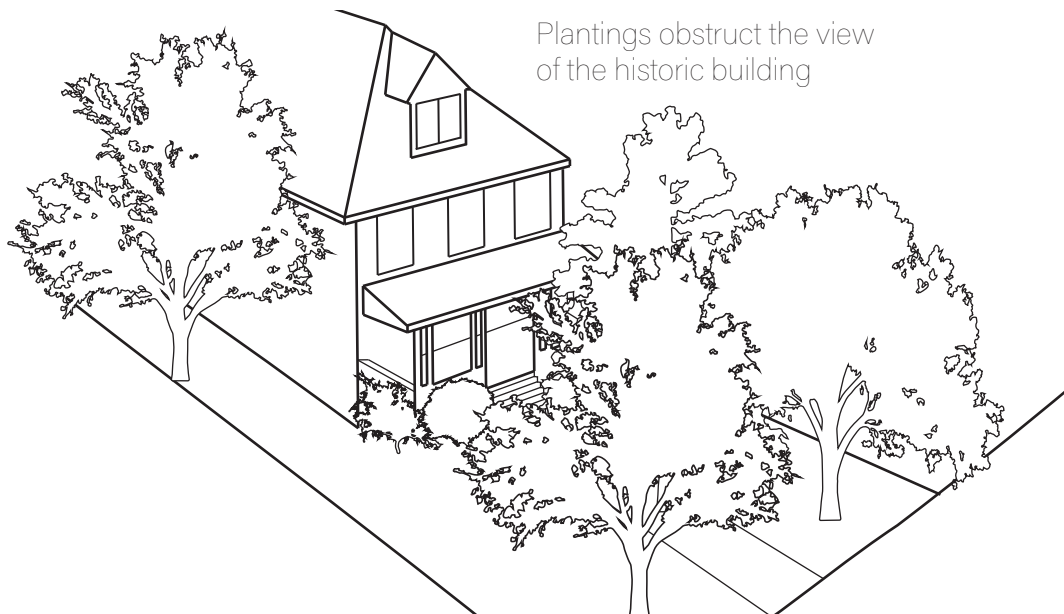
Not Recommended

New and existing plantings that alter the conditions of building exteriors to the point where the material is compromised.

The use of exotic and non-native vegetation is not regulated, but it is discouraged.

Planting any highly invasive vegetation species, especially in areas that could spread to surrounding properties.

New plantings that obstruct views of historic buildings or character-defining elements of the historic district; or otherwise detract from the overall visual character of the district.



Walkways

While the principal function of walkways is to direct pedestrian traffic to entrances of buildings, they also help define the character of historic properties whether by their configuration and/or the material they're constructed out of.

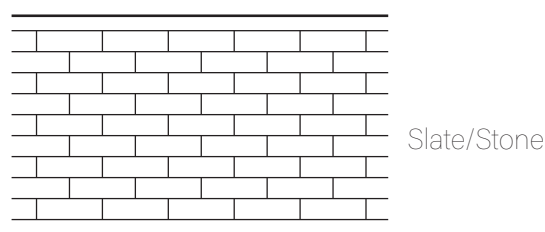
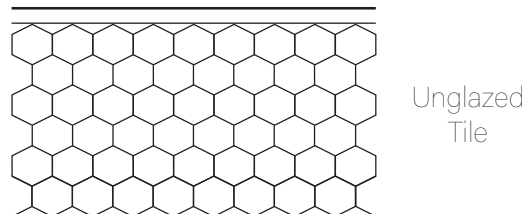
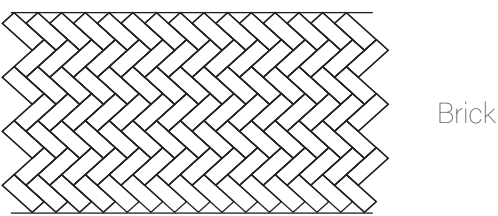
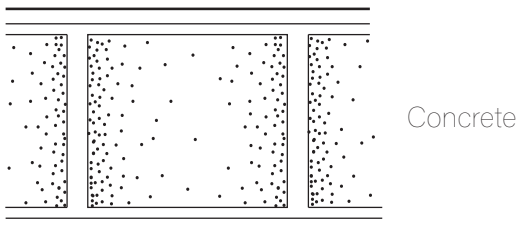
Recommended

Existing walkways should be routinely inspected to ensure regular maintenance.

Any new material added or used to repair walkways should be in kind to the original materials in color, character, size, and scale.

New walkways should be consistent with existing walkways in visible proximity.

Appropriate Materials:

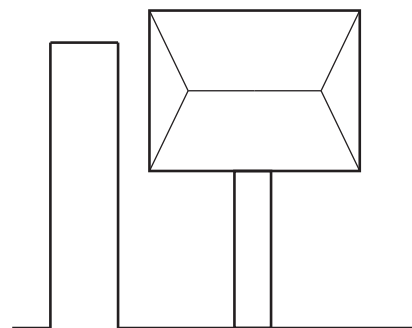
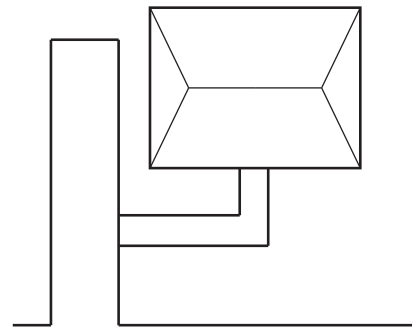


Not Recommended

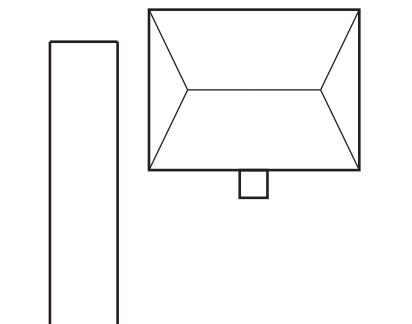
New walkways that overwhelm the character of the structure or landscape with which they are associated.

Entire demolition and replacement of walkways when unnecessary. Instead, replacement and repair should be localized to areas of concern, or damaged areas only.

Appropriate Entrance Walkways:



Not Appropriate Walkway:



Parking

Parking in Covington has traditionally been a mix of on-street parking, external garages, or under carports. Size, placement, and type of residential parking varies on a case-by-case basis. The historic relationship of parking within a residential site and setting should be maintained. Property owners are encouraged to refrain from constructing new parking lots and facilities in locations with ample street parking. All off-street parking spaces must be compliant with the Covington Municipal Zoning Code

Recommended

Use materials in keeping with the historic character of the neighborhood. Asphalt or concrete are appropriate paving materials for driveways and parking lots.

Shared parking facilities and the reuse of existing facilities is encouraged.

Parking lots and facilities should always be placed to the side or rear of primary facades, with minimal or no impact on historic character.

Parking deck facades shall conceal automobiles, internal ramps, and external ramps from the public right-of-way.

The use of compatible historic materials and architectural styles is encouraged in the construction of new parking decks and facilities.

Screen plantings are encouraged between parking areas and public right-of-ways.

Not Recommended

Installing carports is discouraged, but will be reviewed on a case-by-case basis.

Installing parking in the front yard of a historic property. Instead, parking should be located in the rear of residences or on the street.

Driveway curb cuts that exceed twelve feet in width.

Parking in the front of commercial buildings with residential character is prohibited. Off-street parking should be located in a side or rear yard of the property.

Paved areas that are not sufficient in size and strength to accommodate service vehicles.

Large-scale parking facilities (i.e. parking decks and structures) that fail to be compliant to the layout and design regulations listed in Section 16.44.030 as well as the space dimension requirements established in Section 16.16.030.

Driveways

The alignment of driveways has changed over time. Transportation methods evolved throughout the twentieth century and increased the use of driveways and parking spaces as they apply to private residences. The driveway came to function as the link between private and public spaces. For this reason, driveways are an important element as they relate to historic residences

Recommended

Existing historic driveways should be preserved.

Repairs to driveways should be performed using material in-kind to the existing fabric's texture, pattern, and color.

New driveway construction should use materials that are consistent with driveways existing in visible proximity.

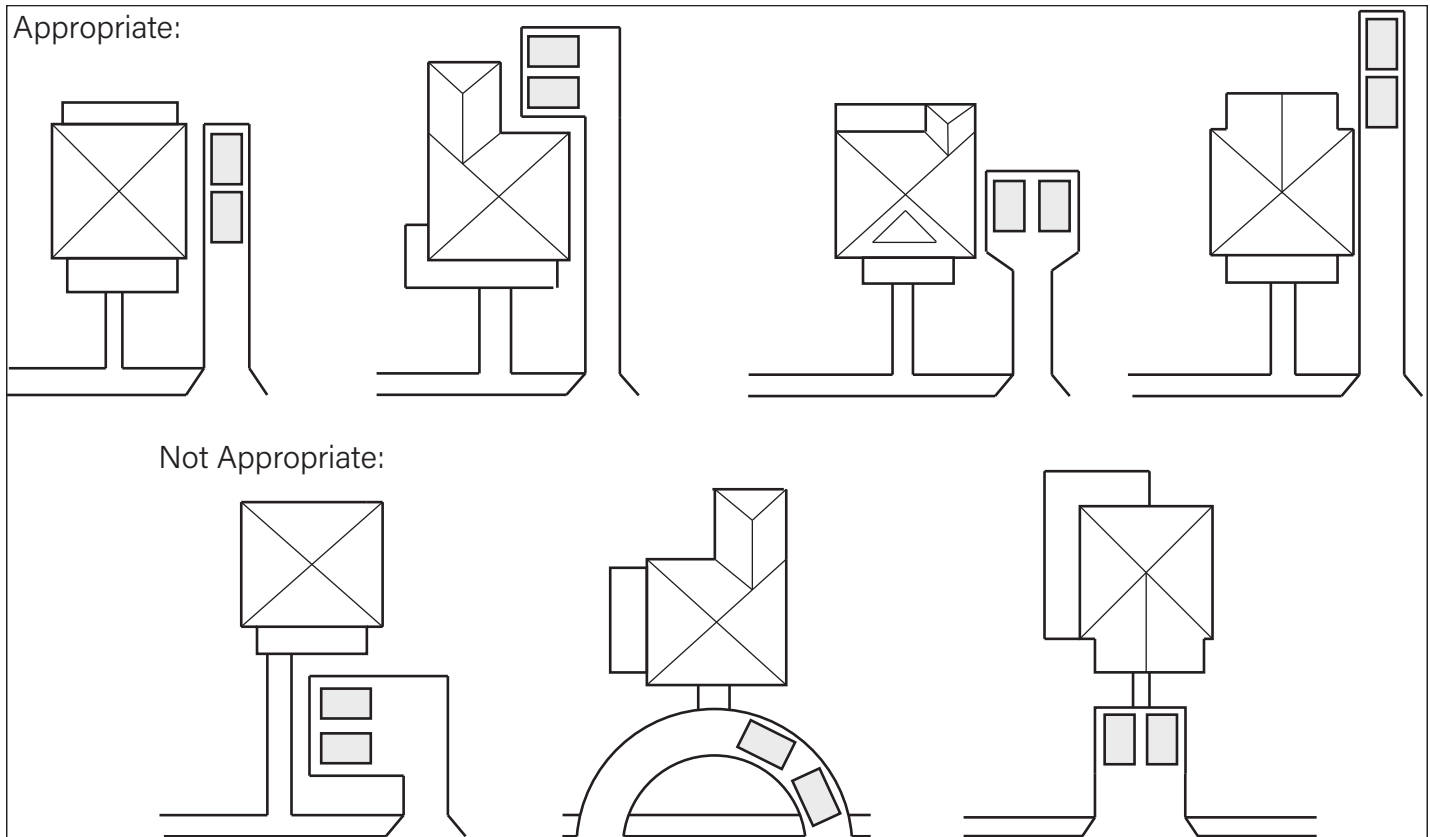
Traditional perpendicular driveways are encouraged whenever possible so as not to detract from a historic property's character.

Not Recommended

New driveway construction placed in visible proximity, instead driveway placement should be limited to the side and rear of historic properties.

Moving historic driveways from their traditional placements on the property.

New driveways that overwhelm the character of the structure or landscape with which they are associated.



Garages, Outbuildings, and Carports

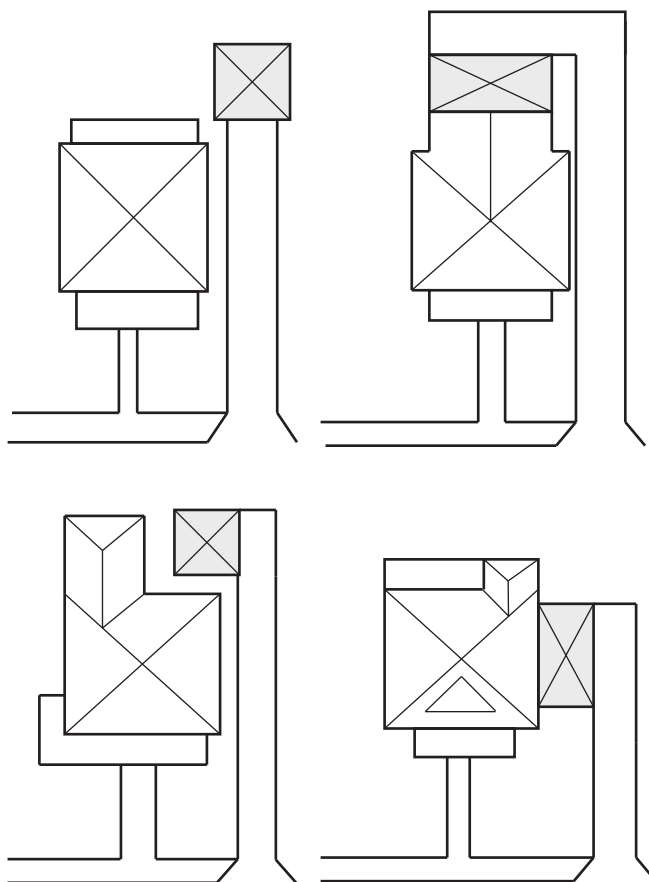
As secondary structures, garages and outbuildings complement the history of residences by providing examples of the needs of rural living as well as those associated with automobiles in the twentieth century. Many garages and outbuildings were constructed at the same time as historic residences, while others were added later. In both instances, these adjacent structures are contributing features that should be maintained and preserved.

Recommended

Historic garages, outbuildings, and carports should be maintained and preserved using the same guidelines associated with other residential structures.

New garages, outbuildings, and carports should be constructed toward the rear of a property, behind the principal structure, or in a manner that designates it as a secondary structure on the property.

Appropriate Side and Rear Placements:



Not Recommended

New garages, outbuildings, and carports that do not respect and overpower the scale and materials of the houses with which they are associated.

Garages, outbuildings, and carports that are located towards the front of the property, especially those that are front-facing and open towards the street.



Appropriately Scaled
Side-Facing Garage:



Not Appropriately Scaled
Front-Facing Garage:

Fences

Fences provide a context for historic residences and structures, often helping to identify the period and function. In Covington, there are a few types of fences that are appropriate for use on historic houses. The following guidelines suggest appropriate fencing found in historic Covington, ensuring that the original character of the site and setting is preserved.

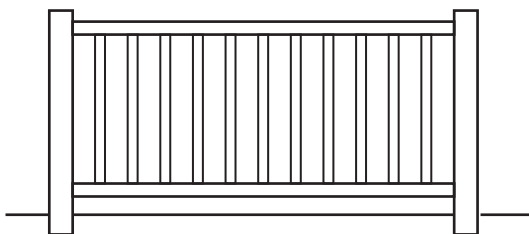
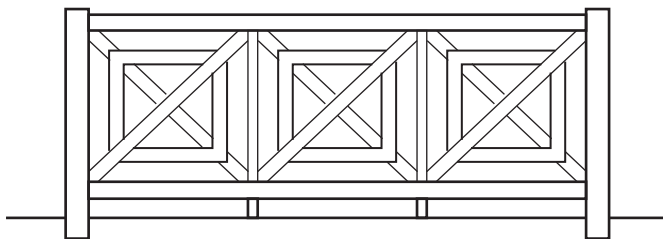
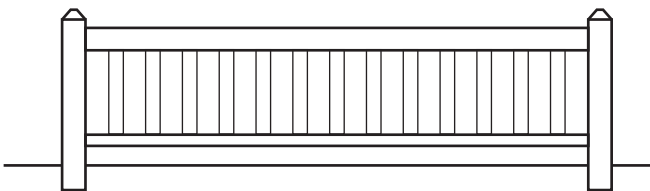
Recommended

Historic fences will be preserved and maintained.

Fences should practice a 50:50 visibility ratio; having 50% of the fence area being covered by fencing material and 50% left void.

Appropriate material and design considerations must be made when deciding on a fence. Traditionally, wood and iron fences were used in Covington.

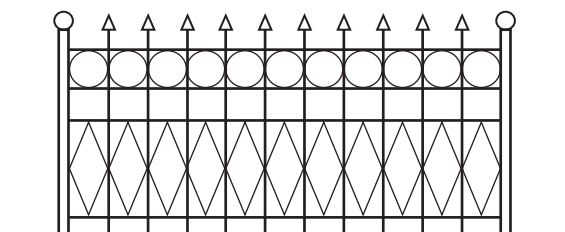
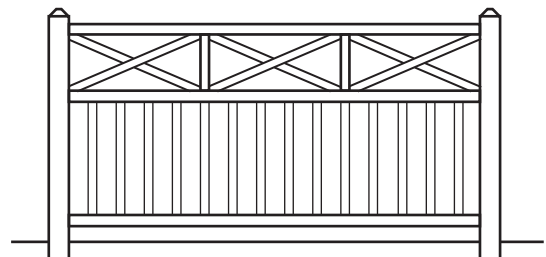
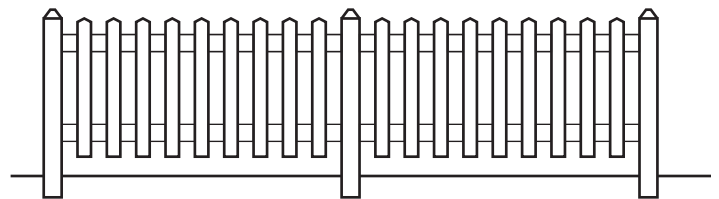
Appropriate Fences with a 50:50 Visibility Ratio:



Not Recommended

Chain link fencing is discouraged, but will be evaluated on a case by case basis.

Fences that exceed a height of 42 inches in front yards and 8 feet in side or rear yards, as required by Covington Municipal Zoning Ordinance 16.32.220.



Exterior Lighting

The arrival of electrical lighting in the early twentieth century allowed for significant updates to Covington's historic residences. Improvements in-home safety and security, as well as the ability to enjoy extended hours of outdoor entertaining and recreational activities, can be provided with the installation of exterior lighting fixtures. Design changes, including the removal or addition of exterior lighting fixtures, require review by the Historic Preservation Commission.

Recommended

Use original fixtures where possible. If new lighting fixtures are to be installed, choose models consistent and compatible with the building's historic character.

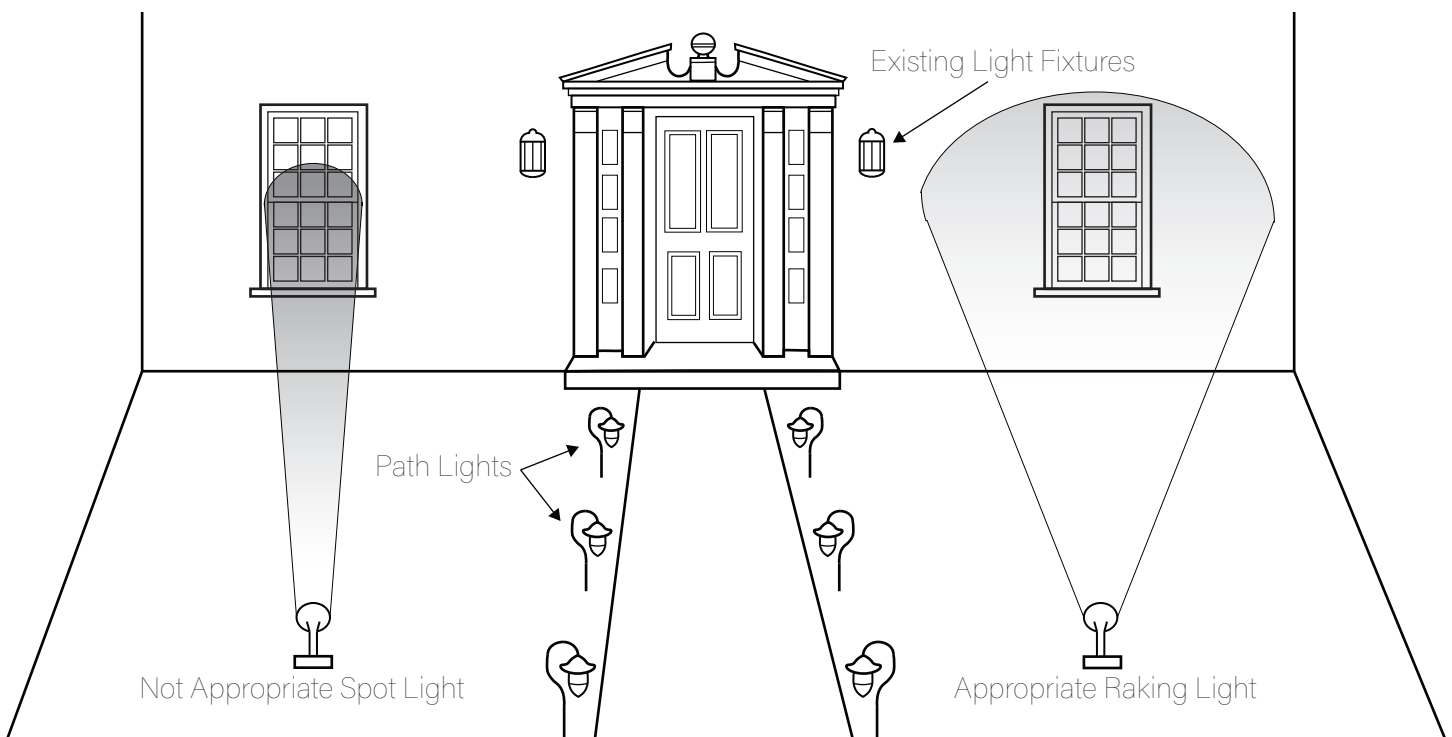
As with any residential addition, ensure that new lighting installations cause minimal or no impact to the building's historic materials.

Install lights on existing buildings or light poles in non-intrusive areas. Where new lighting features such as poles and lower/ground-level lights are necessary, use compatible or historically appropriate equipment.

Not Recommended

Installing direct spotlights or floodlights on a historic property. Instead, raking lighting which highlights architectural and landscape features is preferable.

Excessive lighting that impacts adjacent properties or the public right-of-way. The area impacted by lighting design should be restricted to the individual property where it is installed.



Mechanical Systems

Like exterior lighting fixtures, both historic and new mechanical systems are considered integral aspects of a building's design and changes are subject to review. The installation of mechanical systems such as fuel tanks, utility meters, air conditioning or HVAC units, and trash containers are common updates that allow residents to enjoy modern conveniences within historic dwellings. As with all design changes, the installation of modern mechanical systems should have limited or no impact on the structural integrity or character of a historic property.

Recommended

Window air conditioning units should be placed along discrete sections of a historic building and not visible from public right-of-ways.

Consider concealing exterior elements with compatible awnings and decorative framework. Screening new mechanical systems from the public view with landscaping or other methods when visible from the public right-of-way is encouraged.

Permanent trash and recycling containers must be obscured from public view by three decorative walls or opaque fencing as required by Covington Municipal Zoning Ordinance 16.32.160. Walls or fences must also adhere to the recommendations contained within these guidelines.

Not Recommended

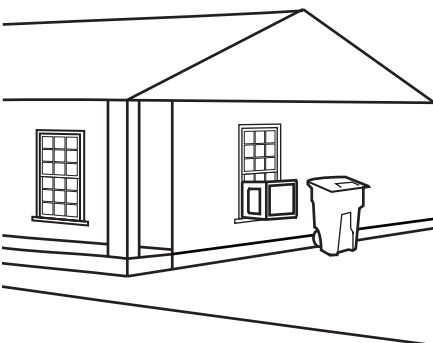
Leaving mechanical systems uncovered and visible from public right-of-ways, particularly permanent trash and recycling containers.

Removing existing mechanical systems instead of trying to reuse or upgrade the systems prior to the installation of new mechanical systems.

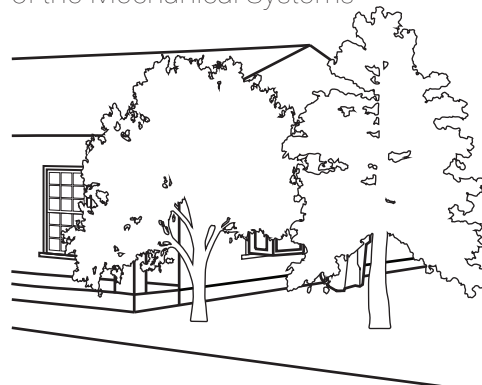
Modern mechanical systems that have an impact on a building's primary elevation. Instead, systems should be placed to the side or rear of the building.

Not preserving decorative elements of historic mechanical systems such as vent covers, registers, or grilles. Consider integrating these features into modern systems.

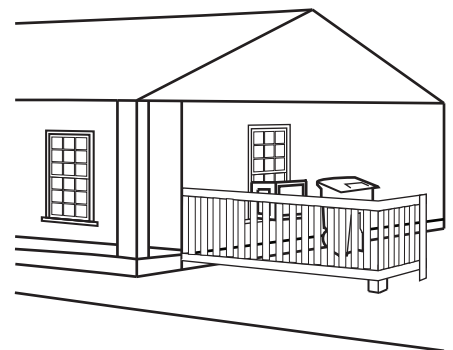
Not Appropriate View of the Mechanical Systems



Appropriate Landscape Screening of the Mechanical Systems



Appropriate Fence Covering of the Mechanical Systems



Street Furniture

*Applies to
Commercial
Properties

The historic character of a commercial district includes exterior features that are positioned along sidewalks and in park spaces. These elements are typically used as a means to increase capacity, attract customers, or beautify a storefront. While items such as park benches are installed and maintained by the City of Covington, other items such as easels, tables, and chairs are used by businesses to advertise or provide outdoor spaces for patrons. These elements reflect a city's pedestrian tradition and are complements to the district's visual appearance. Their use should be consistent with the city's traditions as a historic site, as well as comply safely with local regulations regarding pedestrian traffic.

Recommended

Exterior elements should complement the character of buildings with which they are associated, and be compatible with the appearance of existing elements around them.

The use of outdoor temporary furniture should be limited to modest spaces.

Not Recommended

Exterior elements that impede pedestrian traffic or otherwise create safety or trip hazards.

Fire Escapes

*Applies to
Commercial
Properties

Fire escapes or additional exits may be required on a historic building, depending on use and height. If a building is taller than one story and is of commercial or mixed use then it must meet the safety requirements mandated by the Fire Marshal of the City of Covington.

Recommended

Identify potential designs or strategies to provide accessibility without removing or changing the historic character of a structure.

New exits shall be compatible with other exits on the structure and located on the side or in the rear to avoid disturbing the façade.

Not Recommended

Failure to follow Guidelines and requirements instated by the Fire Marshal of the City of Covington.

Americans with Disabilities Act Requirements

*Applies to
Commercial
Properties

The needs of people with disabilities are always given priority when designing a commercial space and does not excuse historic structures. All areas must be free of obstacles and easily accessible in accordance with the Americans with Disabilities Act. As explained under Title III of the ADA, owners of ‘public accommodations’ (theaters, restaurants, retail shops, etc.) must make ‘readily achievable’ changes; that is, changes that can be easily accomplished without much expense. This might mean installing a ramp, creating accessible parking, adding grab bars in bathrooms, or modifying door hardware. The requirement to remove barriers when it is ‘readily achievable’ is an ongoing responsibility.

Recommended

All commercial or mixed-use buildings shall be compliant with the ADA in regards to access and egress.

The additions of ramps shall be constructed with appropriate materials.

Identify potential designs or strategies to provide accessibility without removing or changing the historic character of a structure.

If the construction of a new access or egress point is required, this entrance or exit should be located at the side or rear of the building with no visible impact to the primary facade.

All additions made for ADA shall meet the guidelines for accessibility as outlined in the Americans with Disabilities Act.

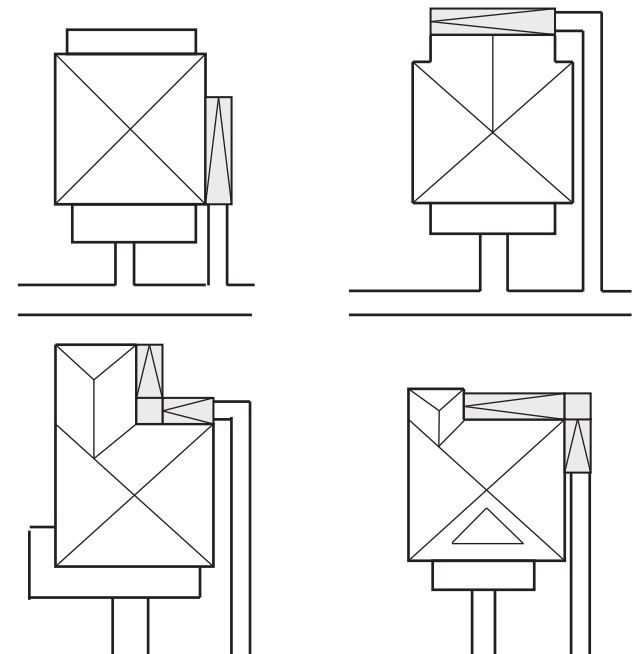
Not Recommended

Ramp additions that are constructed with incompatible materials that distract from the historic building and facade.

Failure to follow Guidelines and requirements instated by the Fire Marshal of the City of Covington.

Using primary entrances to commercial buildings as new access or egress points, Instead ADA additions should be placed along the side or rear of the building.

Appropriate Side and Rear Ramp Placements:



4.0

ADDITIONS GUIDELINES

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ADDITIONS GUIDELINES

General Guidelines

In order to minimize the potential impact on the historic character of an existing building, careful consideration should be taken when designing new additions. While the adaptive reuse of interiors can help those involved in the design process avoid alterations to the original form of a historic residence, there are times when additions are a necessary element for the practical preparation of a house for modern use. Additions can aid homeowners in the preservation of a building's historic character.

Recommended

New additions should preserve historic materials, forms, and features. Material loss, while inherent to the attachment of a new addition, should be kept at a minimum.

A new addition should be reversible. Should the addition be removed, exterior walls of the historic building should remain in place with as little damage to the material as possible.

New additions should be compatible in massing, size, scale, and architectural features to the original house. The easiest way to ensure that an addition will be considered appropriate is to design it to be smaller in proportion to the original building.

Building materials for rehabilitation projects should either match or complement those of the historic building.

Details such as cornice lines, window and door height, string courses, and water tables should complement those of the historic building, but not necessarily mimic them.

Not Recommended

Additions that impact the view of primary elevations, in other words: after constructing an addition, the original building should not have a different appearance when viewed from the public street or sidewalk.

New additions that attempt to be a part of the historic house's design plan. New additions should be differentiated from the original building and a viewer should be able to easily distinguish between the original building and any new construction.

An addition that is not setback or staggered from the historic structure so as to appear as a distinct element from the existing building. It should not be blended into the wall plane of the existing building.

A new addition that overpowers the historic building in terms of its mass or scale.

An addition placed in a highly visible area from public view or that obscures the historic front entrance. Instead, the addition is ideally placed at the rear of the building.

Height and Width

Height and width refer to the size of structures and their additions in relation to lot size and adjacent structures. While these two aspects vary depending on the type of architecture, the scale of a house in relation to its surroundings is important when trying to maintain continuity within a historic district.

Recommended

Additions, like new construction, to historic residences, should conform with that of adjacent residential structures.

Heights and widths of residences should maintain existing lot coverage regulations.

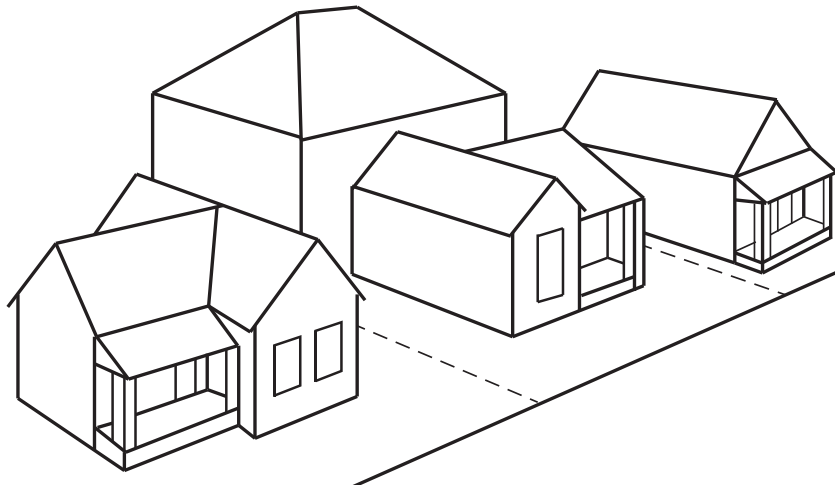
Spacing between buildings, called sideyard setbacks, should remain consistent with that of adjacent structures.

Not Recommended

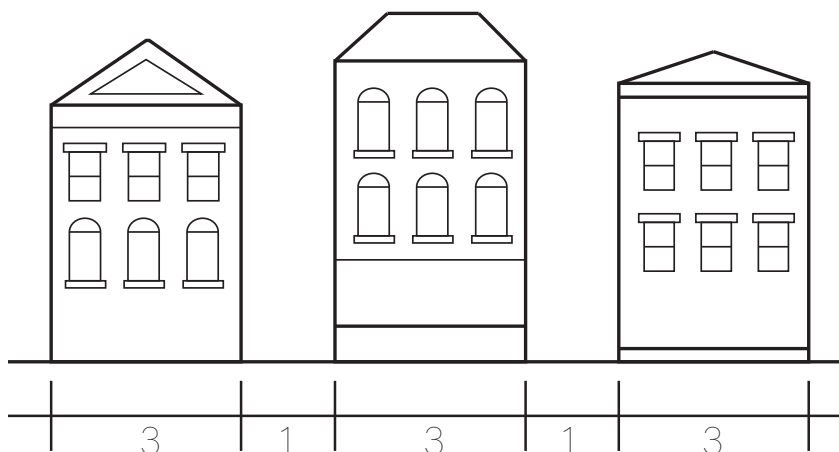
Designing a new addition or construction that obscures character-defining features of the surrounding historic buildings.

Designing a new addition or construction whose height and width vary greatly from that of adjacent residential structures.

The Scale of this Rear Addition is Inappropriate:



Consistent Sideyard Setbacks:



Room and Wings

Additional rooms and wings should be placed, whenever possible, to the rear or along a secondary elevation of a historic building. It is recommended that these additions have minimal impact on a building's primary facade as viewed from the street or sidewalk. Additions generally extend beyond the building's historic footprint. Care should be taken to ensure that these additions do not greatly impact the historic spacing between adjacent properties.

Recommended

Use similar or compatible materials, as approved on a case-by-case basis by the HPC, in the construction of new additions.

Ensure that the roofs of new additions are similar in both style and pitch to those on the historic building.

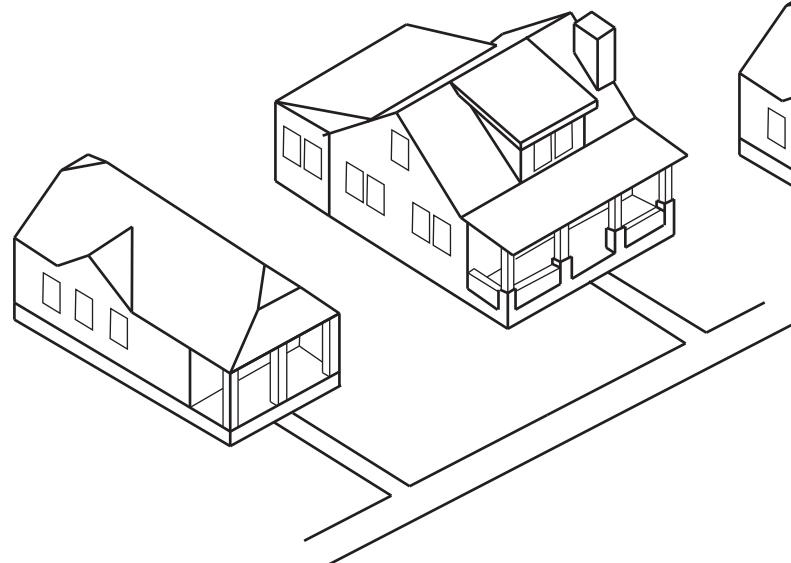
Orient room and wing additions to be consistent with historic properties throughout the district.

Not Recommended

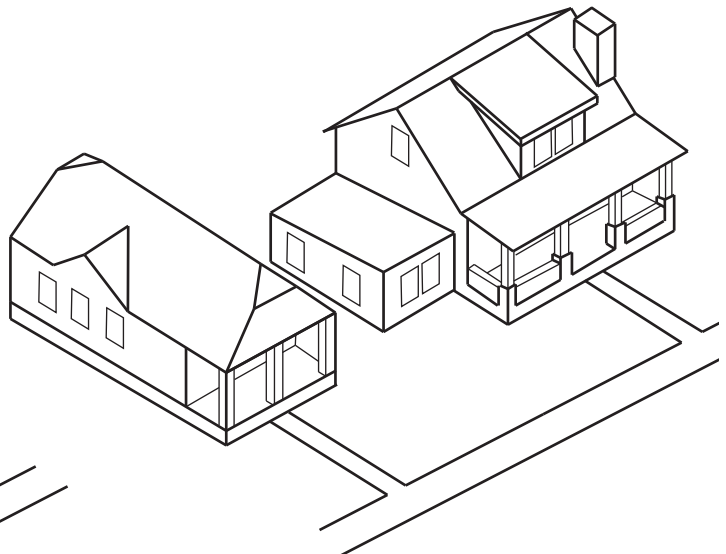
Placing additional rooms and wings in a way that impacts the height, scale, or visual impact of the historic structure.

Damaging any historic materials, and not allowing for future reversibility when planning for new additions.

Appropriate Rear Addition Preserves the Building's Original Form:



Inappropriate Side Addition Disrupts the Surrounding Scale and Spacing:



Roofs

There are a number of different representative roof types found throughout Covington's historic districts. The shape, pitch, materials, and heights of historic roofs are crucial aspects of properties within the districts. While flat parapet roofs might provide tempting room for additional stories and entertainment spaces, this is generally discouraged, but may be permitted if the following criteria are met:

Recommended

In-kind historic or compatible materials (as approved on a case-by-case basis by the HPC) should be used for all roof additions.

Rooftop additions must be compliant with the height restrictions established by Section 16.16.030 of the Covington Municipal Zoning Code. Additions at the building's rear or set back from the original roofline are recommended.

Dormers should be placed on rear or side elevations of roofs, and should not extend above the original roofline.

New gutters, eaves, and soffits on roof additions should be similar in design and materials to those in place along existing rooflines.

The addition should be removable in a manner that does not damage the material of the historic building.

Solar panels should also be of a flat- or low-profile design and placed along the roof at the building's rear.

Not Recommended

Roof shapes that do not complement or detract from that of the historic building.

Altering the shape or pitch of a roof as to disturb the integrity of the historic property.

Changes or additions to gutters or roofline overhang features which are constructed in such a way as to detract from the historic character of a building.

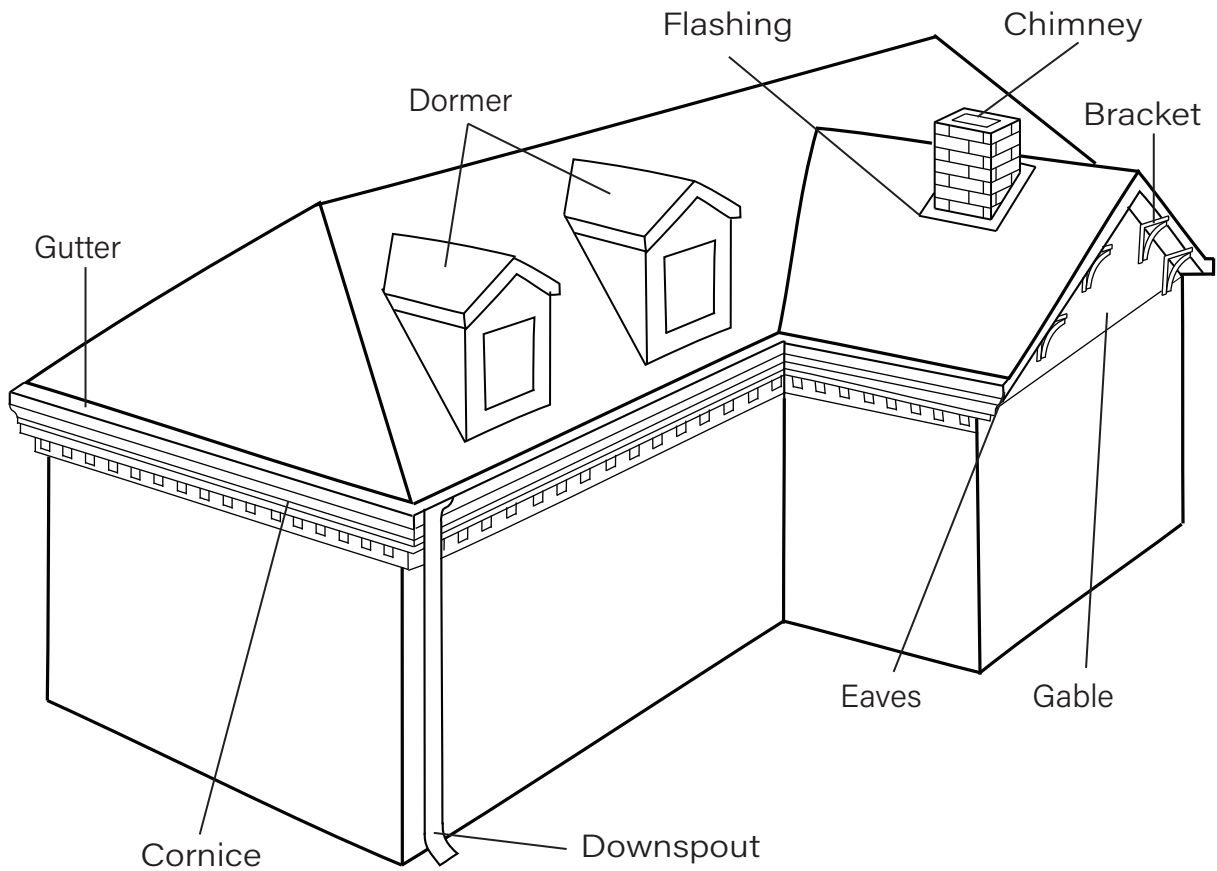
Solar panels installed along street-facing portions of any roof or that are visible from the street.

The rooftop addition should not be visible from the curb of the sidewalk on which the historic building's primary facade sits.

Rooftop additions that overpower the height or scale of the historic building, even if visible from a further distance than the sidewalk curb.

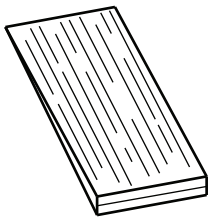
Rooftop additions that add additional stories and overpower the historic building.

Roofs Guidelines Continued

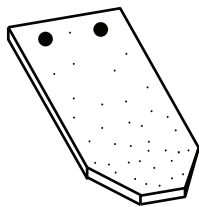


Appropriate:

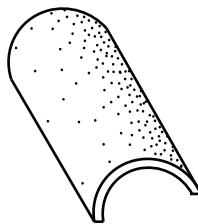
Wood



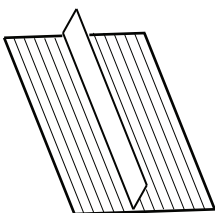
Slate



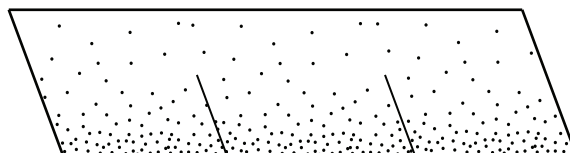
Tile



Metal

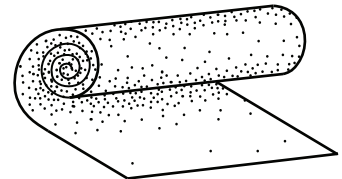


Asphalt

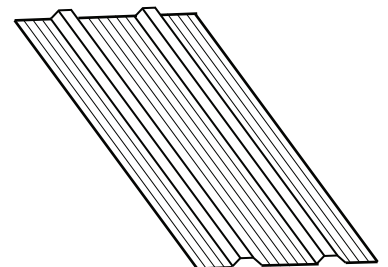


Not Appropriate:

Asphalt Roll Roofing



Corrugated Metal Roofing



Porches

As is the case with many nineteenth-century American cities, Covington's houses often feature porches that can shelter entrances from the elements and extend living spaces to the outdoors. The addition of new or reconstructed porches should reflect the historic design and character of the house.

Recommended

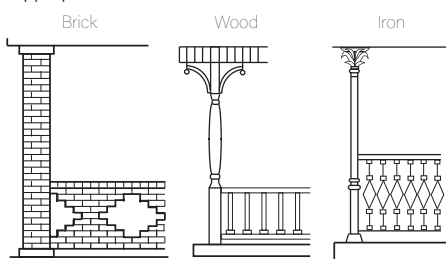
Porches, decks, or raised patios that affect the historic footprint of a house are considered additions, and should not compete with or affect the scale or setback of the existing construction.

The reconstruction of porches historically located along the front of buildings is permissible. This reconstruction should be based on photographic documentation or historic evidence.

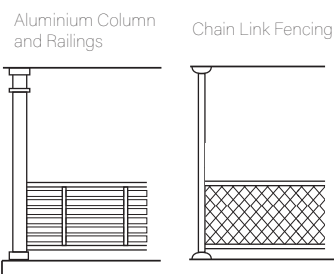
Porch foundations should be consistent with those of the original building in both materials and height.

As is the case with all additions, new porch construction should be performed with minimal impact on historic materials and should be reversible.

Appropriate:



Not Appropriate:



Not Recommended

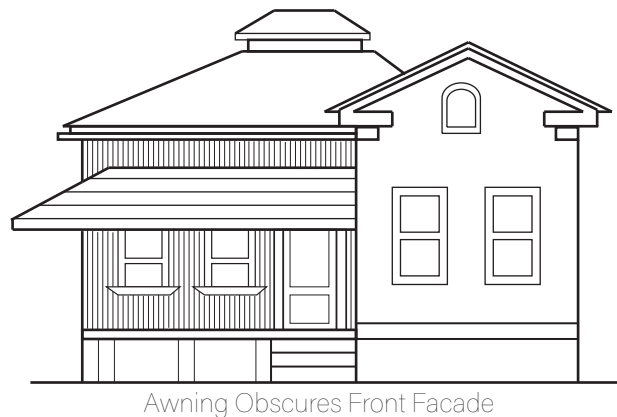
Covered porches that impact the shape or pitch of the existing roofline.

Porch additions that impact the primary, front-facing façade of a building. Instead, rear and side porch additions are recommended.

Porch additions that do not complement existing buildings in design and materials.

Enclosing porches with solid materials that detract or obscure the façade. Enclosure is permissible but will be considered on a case-by-case basis.

Not Appropriate:



5.0

NEW CONSTRUCTION GUIDELINES

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NEW CONSTRUCTION GUIDELINES

General Guidelines

Historic districts are defined by the design and visual characteristics of the historic properties they contain. However, opportunities for new construction within historic districts is possible. When planned appropriately, new construction does not pose a threat to historic districts. In fact, a well-executed design may benefit the area by complementing the existing site and setting, highlighting character-defining design elements, and creating new visual interest.

These guidelines are not intended to encourage the mimicry of a particular historic type or style. New construction should be easily discernible from the historic structures within the districts. By following these guidelines, new residences can respect the history around them while embracing the present and future of the neighborhood. With careful consideration, new modern materials can remain complementary to their historic surroundings.

In order to ensure a successful project that maintains the historic character of the districts, early consultation with the City of Covington Historic Preservation Commission staff is highly encouraged.

Recommended

New construction projects are considered on a case-by-case basis.

The Covington Historic Preservation Commission does not maintain a list of specific building materials that should or should not be used in historic districts and will consider any material proposal.

Because the types and styles of buildings in Covington's historic districts vary significantly, only historic properties that are visible from the new construction lot should be taken into consideration when determining the new construction's compatibility.

Not Recommended

New construction that differs from the existing rhythm, proportion, scale, height, and massing of surrounding historic buildings.

Materials used for new construction that differ greatly from those used in the Covington Historic District.

Materials

The exterior materials used in new residential construction can go a long way in helping to enhance the historic districts. Many modern building materials have been created to imitate the appearance of historic materials while providing increased durability or sustainability, however, traditional materials are encouraged when possible. While newer buildings should be discernible from historic buildings, the materials and finishes used should be compatible with the district and not detract from the overall historic character. The Covington Historic Preservation Commission will consider all materials presented to them on a case-by-case basis.

Recommended

All materials used in new construction should be visually compatible with local historic materials.

Materials that are character-defining for a district or streetscapes with a specific continuity of building materials may be incorporated into the new design.

The scale, pattern, and texture of new materials should be compatible with surrounding historic materials.

The use of modern materials is appropriate, as long as they are compatible with the surrounding historic buildings.

Architectural details of new buildings should have a similar texture and design components. The physical properties of new materials should be compatible with the historic materials in adjacent designs.

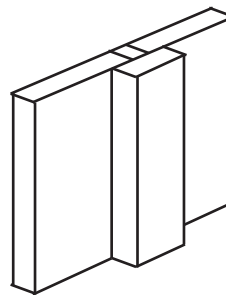
Not Recommended

New construction with vinyl or aluminum.

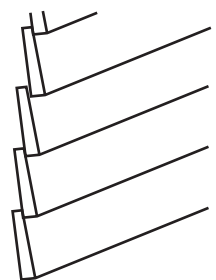
Using cement board as a substitute for wood siding, if it has a thickness less than $\frac{3}{8}$ " in size. Cement board with a minimum of $\frac{3}{8}$ " thickness is permissible.

Using metal siding material in new constructions without first disguising it as an appropriate material for the area. Consistent with 16.28.020 of the Covington Zoning Ordinance, any metal building should not have the appearance of a metal building.

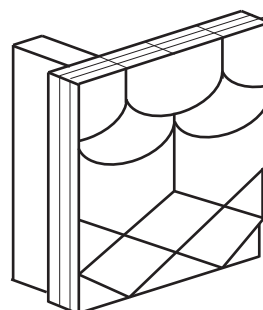
Board and Batten



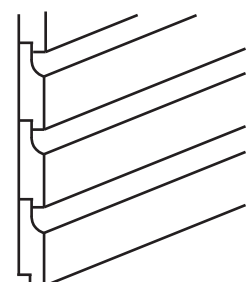
Lap Siding



Shingles



Novelty Siding



Mass and Scale

The massing and scale of new construction refers to the height, width, depth, and proportions of the buildings themselves, as well as design features that make up the facades. The mass and scale of historic homes depends on the type, style, and era of construction. New infill construction should not overwhelm the neighboring buildings and should contribute to the pedestrian-friendly built environment.

Recommended

Appropriate new construction shall be scaled to accurately and relate in massing to surrounding historic buildings.

Buildings higher than 50 feet shall be required to step back that portion of the building a minimum linear distance of ten feet away from the building facade located below the 50 feet height plane.

If new construction is replacing a demolished historic structure (in the event of extreme circumstances that prevent a historic building from being rehabilitated), new construction designs should take into account the height, scale and mass of the previous historic asset.

New buildings, even those covering more than one lot, should suggest the form and massing of single lot developments. Every building should reduce its perceived height and bulk by dividing the building mass into smaller-scale components (16.28.020 of the Covington Zoning Ordinance).

Building walls exceeding 100 continuous horizontal feet shall utilize offsets, such as projections, recesses, and changes in floor level, to add architectural interest and variety, and to relieve the negative visual of a simple long wall. (16.28.020 of the Covington Zoning Ordinance).

Not Recommended

Large scale mixed-use development constructed off the square that is larger than 3-4 stories tall.

Floor to floor heights that are not in proportion to that of surrounding historic buildings.

New construction that either fronts Covington Square, or is within one to two blocks of it, that exceeds the height of the tallest building on the square, or is shorter than the shortest building on the block.

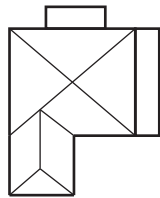
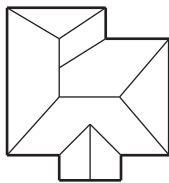
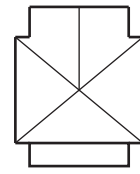
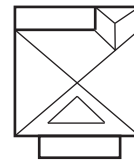
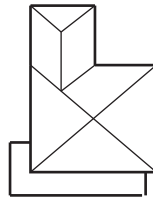
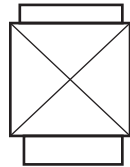
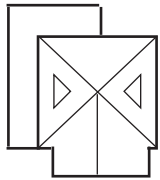
Individual design elements, including but not limited to: front entrances, front porches, and fenestration that do not accurately reflect the scale of surrounding historic buildings.

Buildings in the Town Center Mixed-Use District that exceed 70 feet in height (Section 16.16.030 of the Covington Zoning Ordinance).

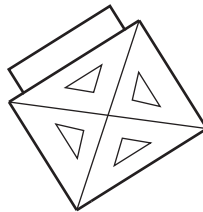
New construction whose total height and width are greater than surrounding historic buildings.

Buildings whose fourth floor can be seen from the line of sight of an average person standing in the on-street parking area looking up at the building. The fourth, and ideally the third, the floor should be set back.

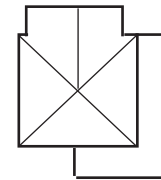
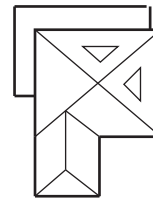
Mass and Scale Guidelines Continued



Inappropriate Sideyard
Setback

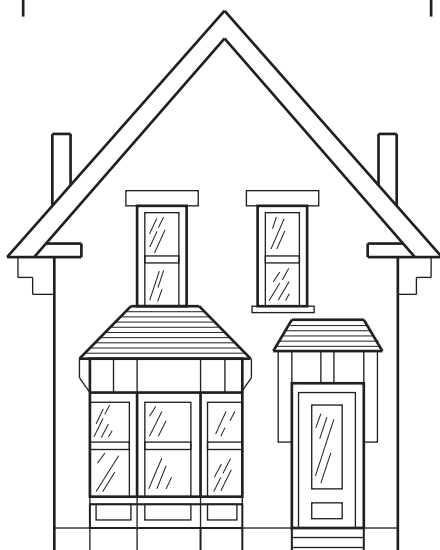


Inappropriate
Orientation



Inappropriate
Front Setback

New Construction has Similar Scale



Orientation, Setbacks, and Spacing

The orientation, setbacks, and spacing of new construction is critical to preserving the character of a street or neighborhood. Many considerations should be considered when planning a new structure, including but not limited to: set-back, spacing, and orientation. Setback refers to the distance between the street and the primary facade. Spacing is the distance between structures on adjoining lots. Orientation refers to the placement of the primary facade in relation to the street. New designs that are informed by the historic precedents for these elements will complement the neighborhood, and not detract from it.

These components contribute to the character and pedestrian-friendly nature of Covington's Downtown Historic District. The orientation, setback, and spacing of new construction should be consistent with historic buildings in the district in order to maintain character and cohesion.

Recommended

New construction shall be compatible with existing streetscape setbacks.

In areas where the setbacks are varied, new construction shall be sited within the limits of the largest setback and smallest setback in the vicinity.

New structures shall maintain similar spacing between historic buildings and lot lines (also called side-yard setbacks).

Primary facades shall be oriented toward the street and sidewalk (16.28.020 of the Covington Zoning Ordinance). If located on the square, main pedestrian entrances should be oriented toward the square; if located off the square, main pedestrian entrances should be oriented in such a manner as to reinforce a vibrant pedestrian network.

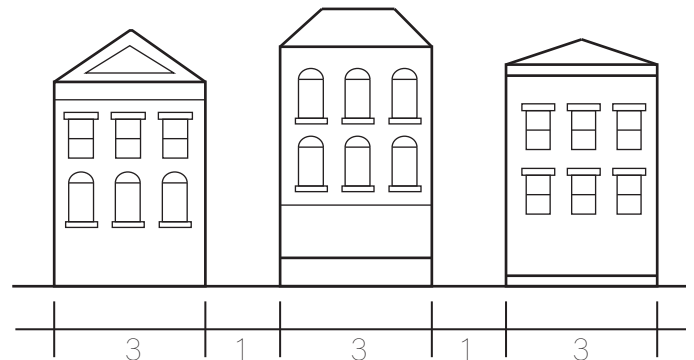
Not Recommended

Blocking or interrupting the traditional views and sightlines as seen from any public right-of-way.

Orientation of the new structure's primary facade that does not correspond to the orientation of existing buildings. In nearly all instances, the primary facade should face the street.

Placing new buildings in close proximity to adjacent buildings and not honoring the side-yard setbacks found between existing district buildings.

Consistent Sideyard Setbacks:



Site and Setting

The site and setting of Covington's historic residential houses vary greatly depending on the era of construction and location in town. Many have distinct landscaping and other hardscape features, such as fences and driveways. New construction should appropriately reflect the architectural components found in the site and setting of surrounding historic buildings.

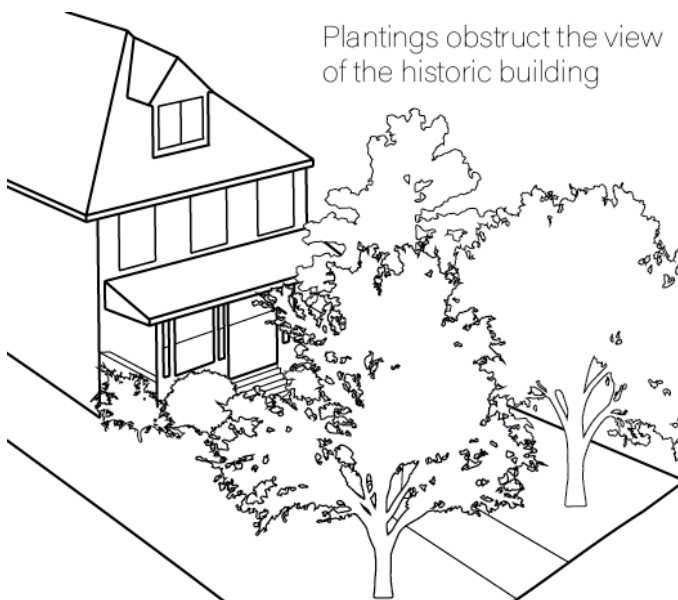
Recommended

Mature landscape features, particularly trees, already found on the site shall be preserved if possible.

Native species should be used since they represent the traditional character associated with historic properties and districts.

Appropriate material and design considerations must be made when deciding on a fence. Traditionally, wood and iron fences were used in Covington.

While the city of Covington's Historic Preservation Commission does not regulate residential landscapes, all efforts should conform to the City of Covington's Tree Ordinance located in Chapter 18, Section 45 of the Code of Ordinances.



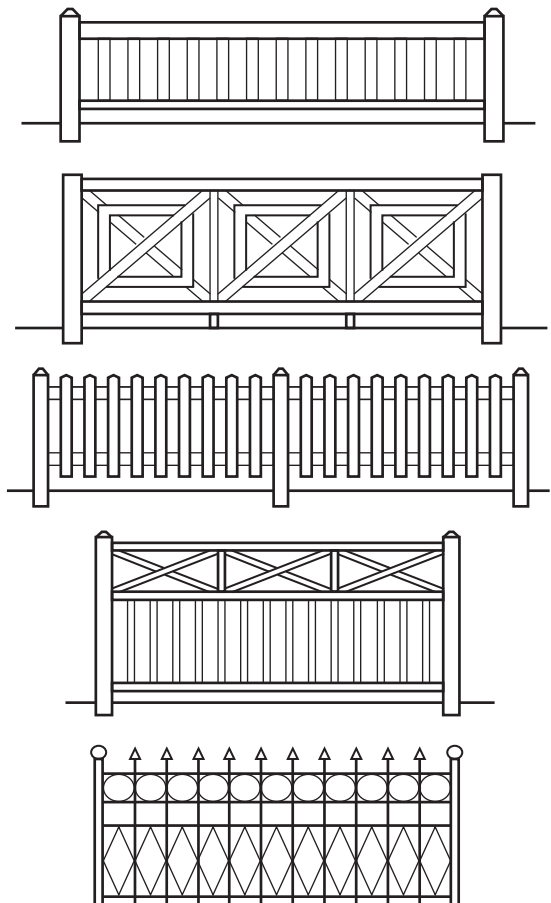
Not Recommended

The use of exotic and non-native vegetation is not regulated, but it is discouraged.

Planting any highly invasive vegetation species, especially in areas that could spread to surrounding properties.

Adding front porches on new construction if there is a historic precedent on nearby buildings. The inclusion of a porch should not disrupt appropriate setbacks.

Appropriate Fences with a 50:50 Visibility Ratio:



Parking

Many of the parcels susceptible to new development in the Covington Historic District are those presently used as surface parking lots. Infill development on these parcels is generally encouraged in that it contributes to a vibrant and walkable downtown area, but parking will likely need to be incorporated into new construction plans.

Recommended

In the downtown Covington area, on-street parking spaces are encouraged for new construction as it improves the pedestrian experience in the commercial area.

Parking entrances, service access, and loading docks should be located on secondary streets.

It is preferred that large-scale mixed-use designs incorporate a multi-level parking garage into the site that is hidden from public view by residential units and/or retail space.

Private parking in front of residences is discouraged. Therefore, semi-circular driveways, or concrete pads in front of residential buildings are inappropriate.

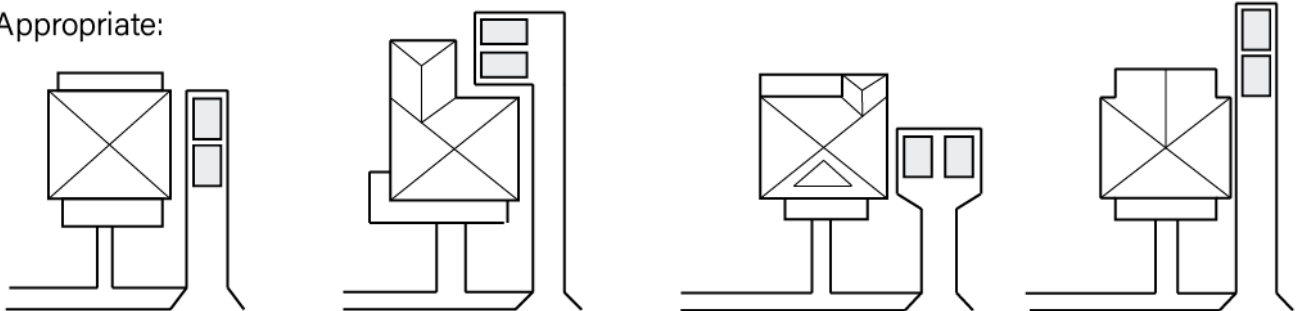
Not Recommended

Additional on-site parking that is built in public view from any right-of-ways, instead, parking is preferably placed behind the building.

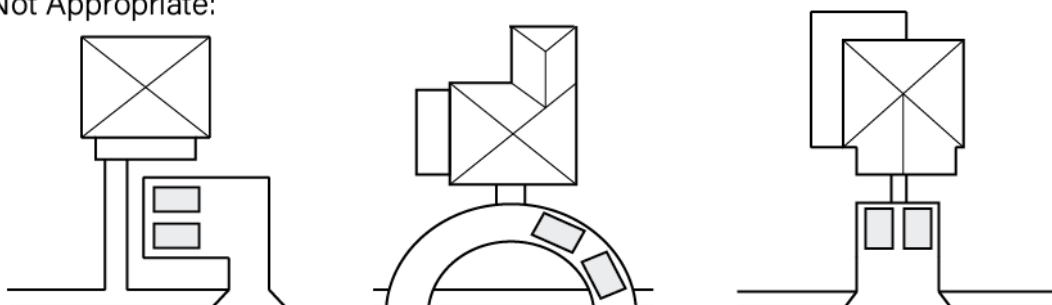
Drive-through service windows, drive-in facilities, drives, and surface parking facilities that are located between a building and the adjacent public street, per City of Covington Zoning Ordinance Section 16.28.020.

Curb cuts are disruptive to the pedestrian environment and should not be located along streets adjacent to Covington Square.

Appropriate:



Not Appropriate:



Facades

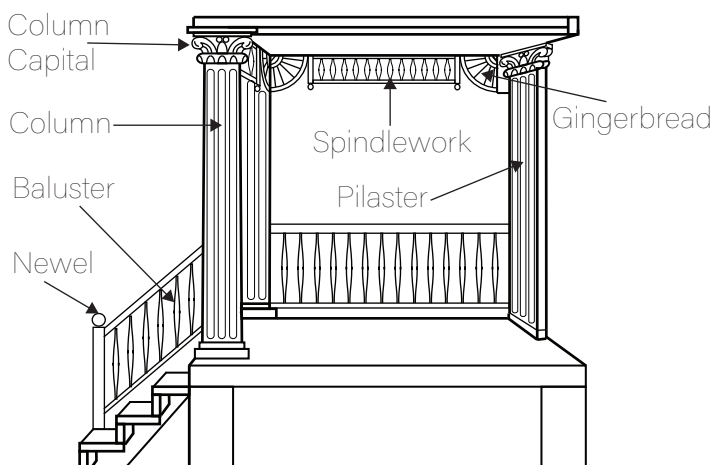
Facades should reflect a base, middle, and cap composition similar to existing and historic commercial and mixed-use buildings in Covington: a store-front base, middle-upper facade, and articulated cornice and parapet roof. Facades and wall surfaces should, on one hand, be relatively simple in keeping with the established character of commercial buildings in the area, but also be articulated using fenestration, a varied palette of materials, and other structural expressions to reinforce the pedestrian scale and to avoid monotonous or blank walls at the street level. The ground-floor uses of new construction should reinforce a pedestrian-friendly public realm, preferably with storefronts that support the commercial nature of the town center mixed-use zoning and contain businesses that typically generate customer traffic.

Recommended

New facades should be compatible with existing building facades in terms of design and materials. These designs should consider existing color schemes on adjacent buildings.

Architectural details such as windows, doors, arches, and cornices should complement those of the neighborhood.

Facades should take inspiration from the character of buildings in the area. Character can be articulated using windows, a varied materials, and other structural expressions to reinforce the pedestrian scale and to avoid monotonous or blank walls at the street level.



Not Recommended

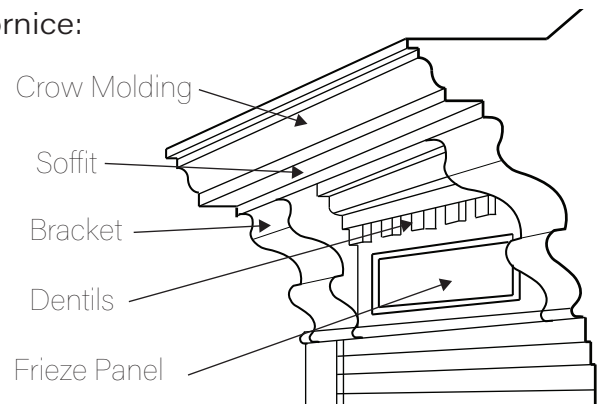
New construction that does not appropriately reflect the architectural components of the surrounding historic buildings. The building should only include details found in the vicinity and should not include any details that don't have a nearby precedent.

New construction that is designed using fake historic styles in appearance, details and decoration, massing, proportion, scale, etc.

Facade designs that are an exact duplication of existing styles or appearances found in Covington's Historic District.

Failure to delineate building floors through windows, belt courses, cornice lines or similar architectural detailing as required by the City of Covington Zoning Ordinance 16.28.020.

Cornice:



Windows and Entrances

Windows and entrances are important design elements of a building. New construction in the Covington Historic District must contain window and entrance features that are compatible with the surrounding historic buildings. Windows greatly contribute to the rhythm and style of Covington's buildings, while the entrances are proportionate to the facades and appear inviting to residents along the sidewalk. Entrances are also integral to reinforcing a vibrant commercial downtown and a safe pedestrian network.

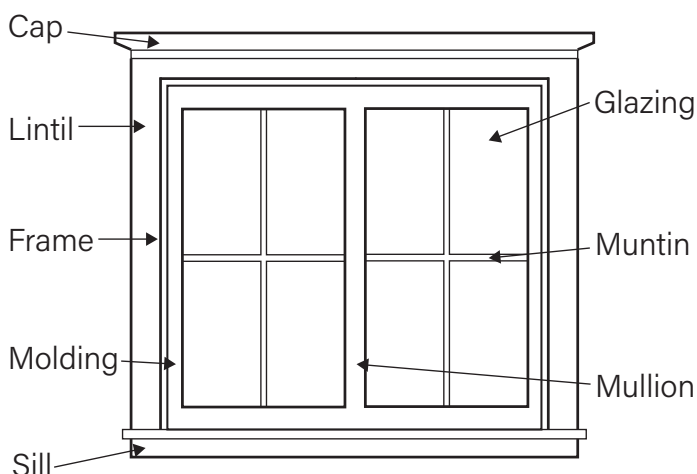
Recommended

New windows and doors should be compatible with that of Covington's contributing structures in proportion, shape, position, location, pattern, and size.

Particular attention must be paid to the use of true divided light windows, which use individual panes of glass separated by muntins, in modern windows.

Doors and windows should have height-to-width ratios similar to the proportions of adjacent historic buildings in addition to similar alignment. The traditional proportions of openings to wall space should also be respected.

Windows should be transparent, particularly at the ground level.



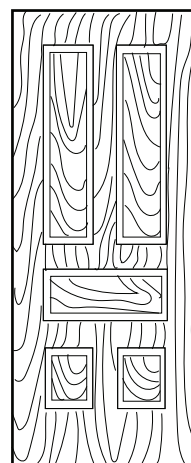
Not Recommended

Metal grates and bars placed over windows.

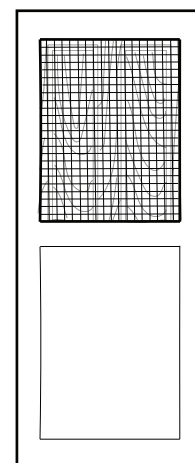
Using tinted or reflective glass as it is considered to be out of character with the historic district.

Adding shutters if there is not a historic precedent in the vicinity. Shutters should be fully functional and sized to fit the window opening.

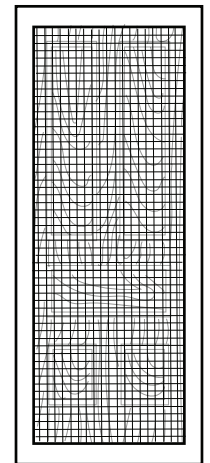
Windows in upper facades positioned at irregular intervals that do not establish a visual rhythm.



Original Door



Inappropriate
Storm Door



Appropriate
Screen Door

Roofing

The roofs of new buildings should be similar in style to those in the surrounding Covington Historic District. While they should not necessarily imitate historic roofs, they should be similar in style and respect the architectural elements present on the historic roofs. Most residential buildings in Covington have gabled or hip and valley roofs while most commercial buildings have flat roofs with stepped-back rooflines towards the back of the building. Parapet walls are also a common feature. Twentieth-century roofing materials in Covington included wood, slate, metal, asphalt shingles.

Recommended

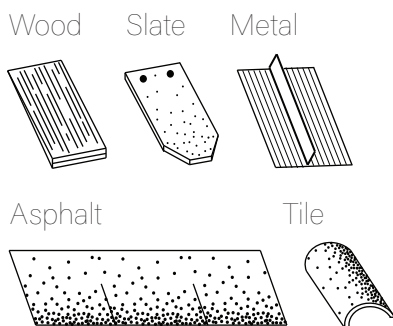
Roof profiles, pitch, visibility/non-visibility, and materials should be consistent with historic houses in the vicinity. If, for example, all visible historic structures feature a gable roof, it would be appropriate for the new construction to incorporate a gable.

Similar building materials found in adjacent structures should be used for the new roof and possible parapet walls.

Consistent with Section 16.28.020 of the Covington Zoning Ordinance, variation in the roofline of buildings and offsets in pitched roofs and gables are required.

Parapets in building masses exceeding 100 feet shall be varied in height and projection and use decorative elements such as crown moldings, dental, brick soldier courses, or similar detail.

Appropriate:



Not Appropriate:

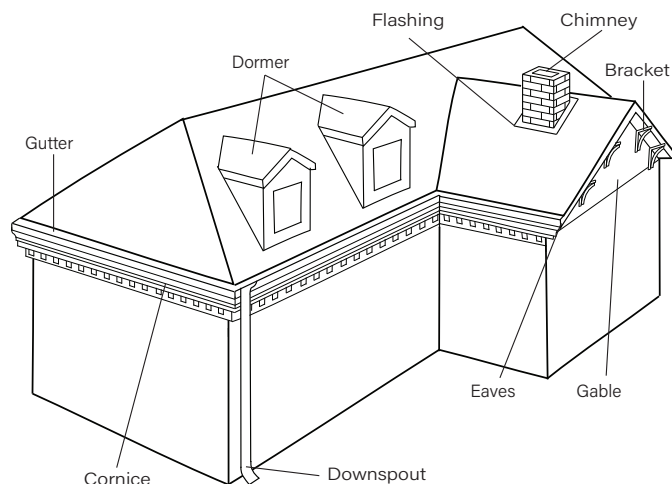


Not Recommended

Mechanical or utility-related equipment located on a rooftop visible from street level. Instead, it should be set back towards the center of the building.

New roofs that do not conform to the shape, line, and pitch of overhang of historic roof appearances found in Covington's Historic District.

Commercial buildings that fail to include a parapet wall surrounding a flat roof.



Rooftop Decks

*Applies to
Commercial
Properties

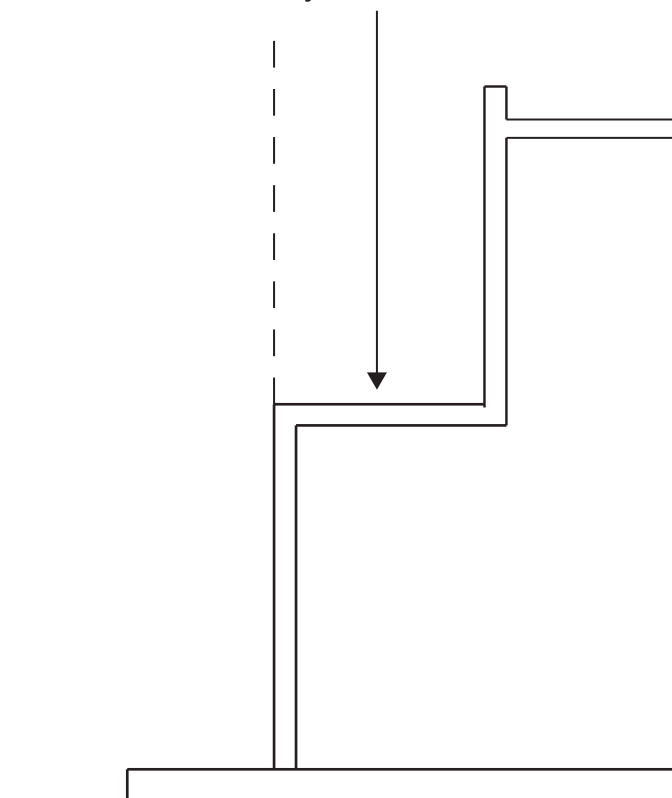
Rooftop additions provide an attractive spaces for restaurants and other venues and can enhance the experience of residents patronizing these commercial entities. If newly constructed commercial buildings in the Covington Historic District contain a rooftop deck or addition, it must not detract from the scale of the building, or from the overall character of the Historic District. While rooftop decks and additions are generally discouraged, rooftop additions may be permitted if the guidelines below are met.

Recommended

Roof decks are allowed provided they do not detract from the overall scaling and appearance of the existing buildings.

Decks and balconies are permitted and even encouraged, as they contribute to a safe and dynamic pedestrian and public experience. It is preferred, however, that they be recessed within the building facade so that the edge of the balcony be at the zero lot line.

Appropriately Recessed
Balcony or Deck Location

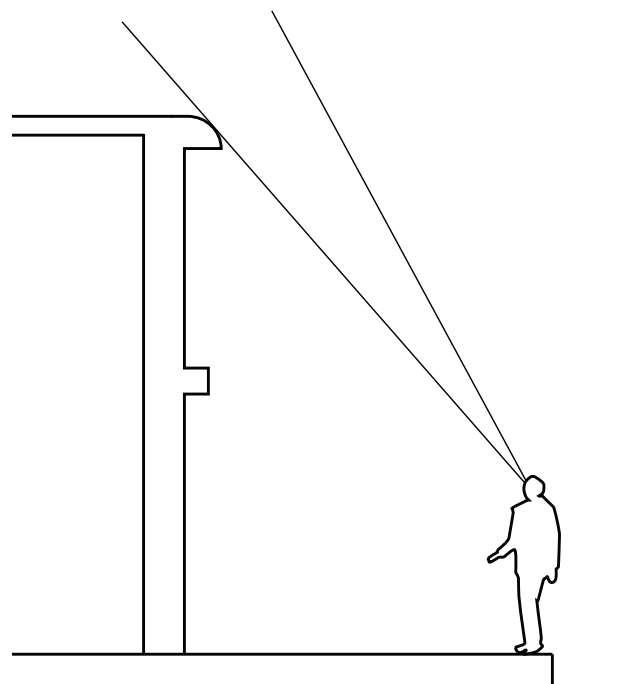


Not Recommended

The roof deck should be set back from the facade so it is not visible to an average size person from the curb of the sidewalk on which the primary facade sits.

Roof decks that detract from the character of the existing historic buildings around it and are not clearly subordinate to the structure on which it sits.

The Balcony or rooftop deck should not
be visible from the curb of the sidewalk:



Storefronts

*Applies to
Commercial
Properties

A significant portion of the commercial district's historic character is tied to the facades of commercial buildings. The design of new commercial storefronts should be harmonious with adjacent buildings and retain elements that maintain the character of the district.

Recommended

New storefronts should retain similar characteristics to that of existing historic storefronts.

Original historic storefronts should be preserved whenever possible and owners are furthermore encouraged to expose previously hidden storefronts.

New storefronts should contain display windows similar in proportion to those of existing storefronts. Display windows should be separated from the sidewalk by a bulkhead similar in height to display windows throughout the commercial area.

Details on new construction should complement or repeat the pattern of nearby historic buildings. Cornice lines, string courses, window locations, and parapet walls should compliment existing examples. Brick patterns should be similar to but not replicative of those of the existing historic buildings.

Not Recommended

New construction that is designed using fake historic styles in appearance, details and decoration, massing, proportion, scale, etc.

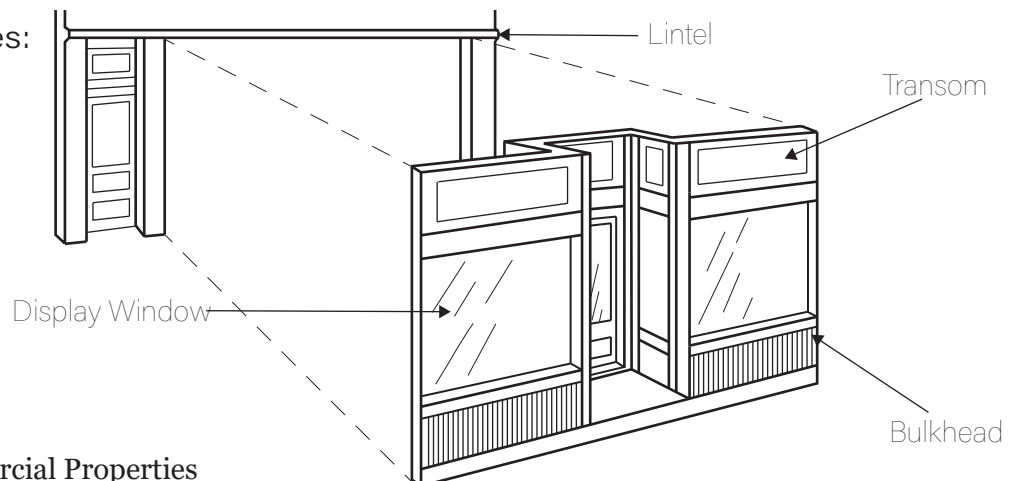
Facade designs that are an exact duplication of existing styles or appearances found in Covington's Historic District.

Front elevation ground-floor facades that do not contain storefronts similar in height, width, and proportion to historic buildings throughout the town center.

Multi-story facades that fail to reflect a base, middle, and cap composition similar to existing and historic buildings in Covington: a storefront base, middle-upper facade, and articulated cornice and parapet roof.

Storefront entrances that are not centrally located along the front façade and directly accessible from the sidewalk to encourage pedestrian traffic.

Storefront Facades:



Awnings

*Applies to
Commercial
Properties

Awnings contribute to the rhythm and continuity of the commercial buildings in the Covington Historic District. These features are common on historic buildings and are encouraged for new commercial construction as well. The awnings in Covington are various colors, but green and red are the most common. Awnings should be consistent with adjacent buildings and maintain, rather than detract from, the character of the district.

Recommended

Fabric or canvas awnings must be of durable quality.

Awnings shall be attached to the building above the display windows and below the storefront cornice, sign panel, or the second story window sills.

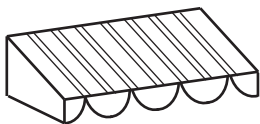
A standard street-level awning should project four to seven feet from the building and should be a minimum of seven to eight feet above the sidewalk.

Awning signs must be painted or installed directly on the valence of the awning.

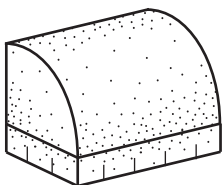
Awnings should be consistent with that of the existing historic buildings in the Covington Historic District, and should not detract from the district's overall character.

Appropriate:

Traditional Fabric Awning

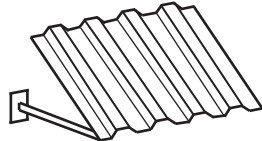


Barrel Fabric Awning

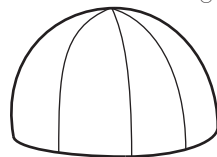


Not Appropriate:

Metal Awning



Dome Awning



Not Recommended

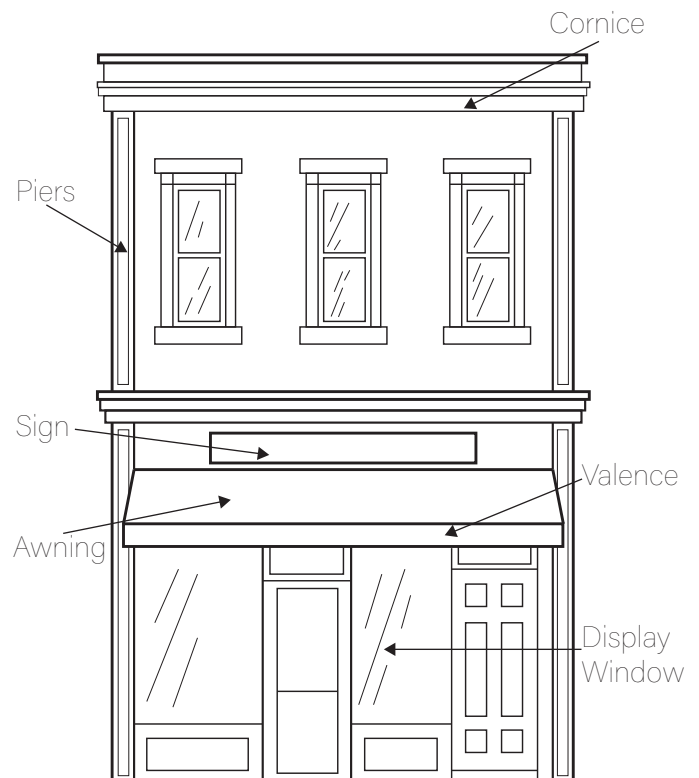
Awnings that cover the storefront cornice, the piers, or other key ornamentation.

Installing metal, plastic or backlit plastic awnings.

Awnings shapes that don't match to the form of window or door openings; such as bubble awnings.

Using light and internal illumination within or on awnings.

Awnings that are placed above second or third-level windows, doors, or balconies.



Signage

*Applies to
Commercial
Properties

Signage provides a clear delineation between the commercial and residential portions of a historic district. Signage also provides a decorative aesthetic that enhances the appearance of the building. Depending on the size, signage can detract from the appearance of the building. Various types of signage found on the commercial buildings in the Covington Historic District include wall signage above the first floor, window, projecting, and ground signage. All signage on new commercial buildings must conform to Section 16.48.040 of the Covington Zoning Ordinance.

Recommended

Signs should be located between the first and second floors of any mixed-use façade.

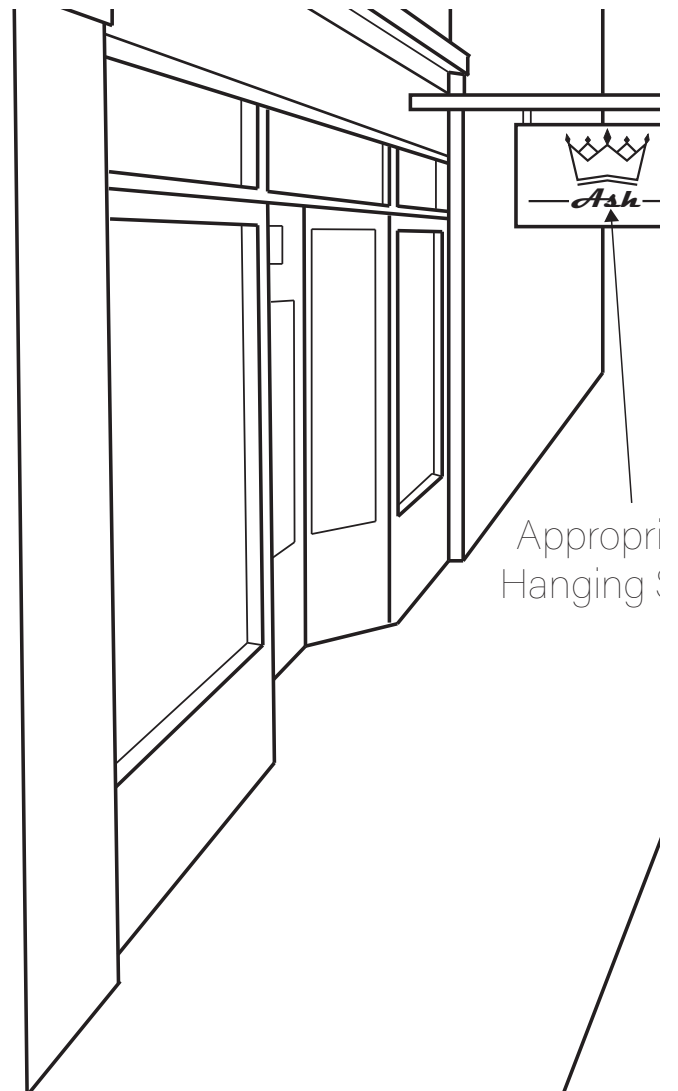
Signage should not overwhelm the appearance of the building, nor should it be disproportionately smaller than the surface area of the façade.

Signage should be consistent with that of the existing historic buildings in the Covington Historic District, and should not detract from the district's overall character.

Not Recommended

Window signs that take up more than 15 percent of the window area facing the road.

Signage that obscure any architectural elements designed to enhance the appearance of the commercial building.



6.0

COMMUNITY LANDMARKS

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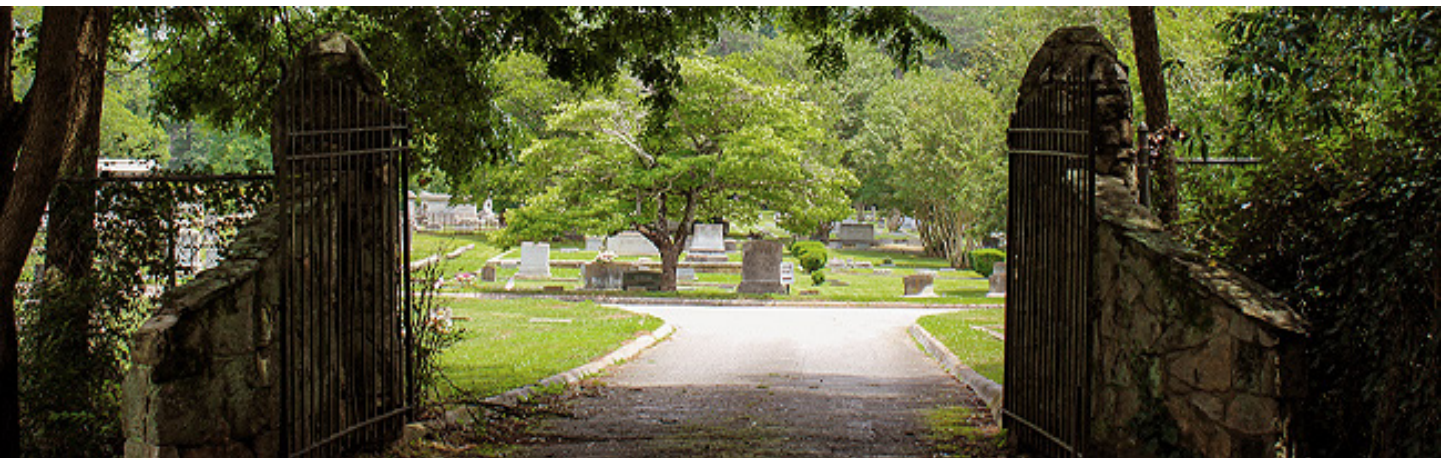
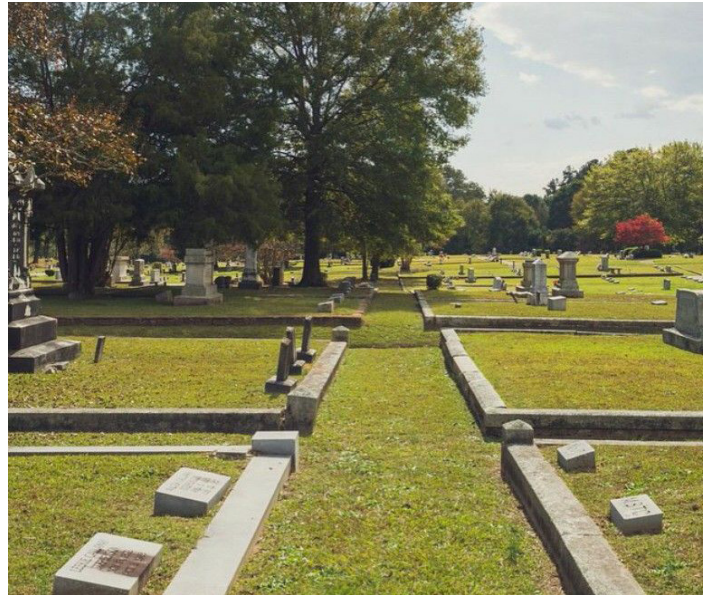
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COMMUNITY LANDMARKS GUIDELINES

Southview Cemetery

These guidelines were created to provide caretakers of Southview Cemetery and citizens of Covington a clear understanding of the historic importance and integrity of the site and its features. The guidelines are intended to assist in the preservation of the cemetery's integrity while simultaneously allowing for growth and change. The suggestions put forth in this document are meant to be used by a number of different entities, including cemetery maintenance staff, landscape crews, individual lot owners, the historic preservation commission, and families of the deceased. A framework is provided to guide in maintenance issues, new burials, and other conflicts that come with the operation of a cemetery.



General Guidelines

Landmarks—those structures or areas which serve a community in stand-alone ways independent of residential or commercial functions— are an important part of a community’s visible heritage. Covington features landmarks of several varieties: a number of monuments to fallen citizens churches, government buildings, and public meeting places. In addition, the designation and protection of greenspaces ensures that Covington’s citizens will be able to enjoy natural areas that double as social space. These landmarks are important to Covington and its citizens and should be protected.

The protection and maintenance of these landmarks is the responsibility of the property’s owner or steward. Maintaining the appearance and integrity of these sites is an important factor in preserving the character of the community and creating a sense of continuity for the city’s residents. While these landmarks do not have generalizing guidelines, they are “self-referencing,” meaning that each landmark should be preserved and maintained based on historic pictorial evidence or other documentation.

Recommended

While landmarks that are publicly owned do not fall under the jurisdiction of the Covington HPC, these guidelines serve as general guidelines that should be referenced when considering alterations or repairs.

Privately-owned landmarks are “self-referencing.” They are unique structures, each with an individual character separate from that of their surroundings, and should be preserved as such.

Not Recommended

Any material replacement work done to a community landmark should be in a manner that detracts from the appearance of the structure.

Monuments

As long as they remain active, Cemeteries are an ever-evolving landscape. With each new burial comes a new monument. Headstones and other grave markers are a unique way for families to commemorate their loved ones. Because Southview is a historic site, it is important to take into consideration the context in which a new monument will be placed.

Recommended

Every element of a gravesite is significant. Nothing should be changed or removed.

Damaged headstones should be repaired rather than replaced unless the historic integrity of the stone is unrecognizable. Only qualified masonry conservators should be permitted to repair damaged headstones.

When repointing, new mortar should duplicate the historic mortar in color, texture, and strength. Avoid mortar with a high Portland cement content as it is known to be stronger than historic masonry and may cause damage.

When cleaning headstones use the gentlest means possible. Avoid acidic solutions and chlorine bleach. A soft-bristle brush and water is recommended.

When installing a new monument, consider the vegetation around it.

New headstones, mausoleums, and other markers should make use of materials and styles that are similar to historic materials in the City Section or the Old Methodist Burial Ground.

Not Recommended

Using new gravestones and mausoleums designs that disrupt the historic integrity of the cemetery.

Attempt to clean a headstone if there is a possibility that temperatures will be below freezing.

Polishing, pressure washing, or sand/grit blasting gravestones or monuments.

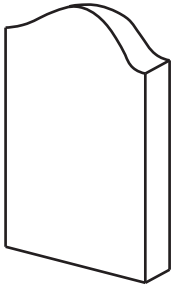
Re-inscription of headstones even if the existing inscription is at risk of becoming illegible. Such measures detract from the original character of the stone. Instead, it is suggested that the deteriorated inscription be recorded through documentary and photographic evidence.

Disposing of any stone fragments, even those of small size. These fragments should be saved in a secure location and documented until proper repair can occur.

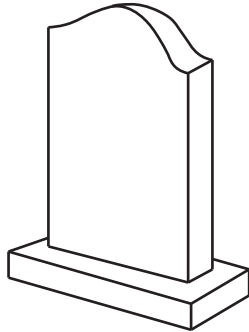
Never stack stones atop one another without a soft buffer such as a thick towel between them.

Moving any gravestones and monuments except in the case of disinterments or if it is discovered that the identity of the interred was incorrect.

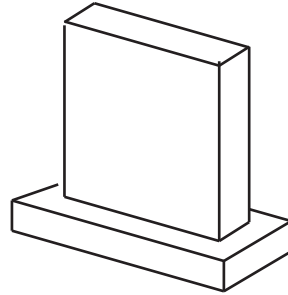
Monuments Guidelines Continued



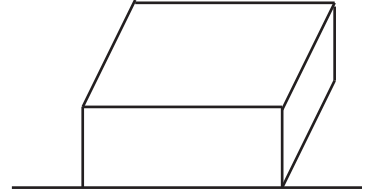
Headstone



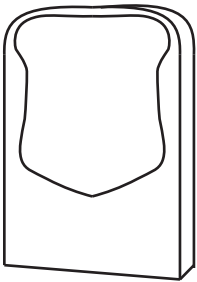
Die in Socket



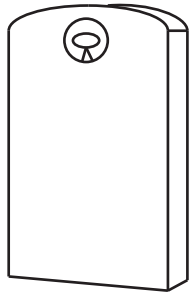
Die in Base



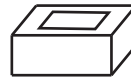
Raised Top



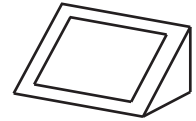
Govermnet Issue
Civil War Type



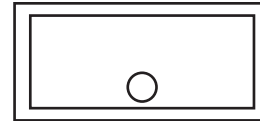
Govermnet Issue
General type



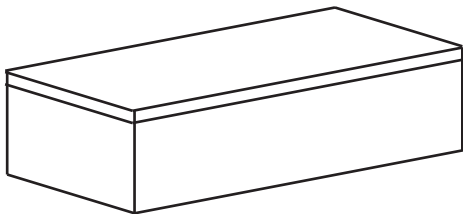
Footstone



Plaque Marker



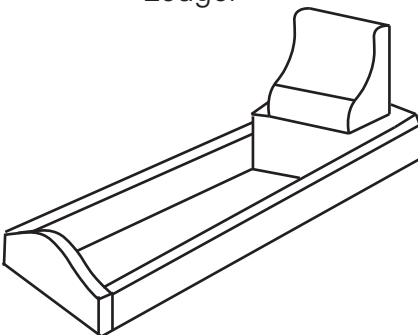
Lawn Type Marker



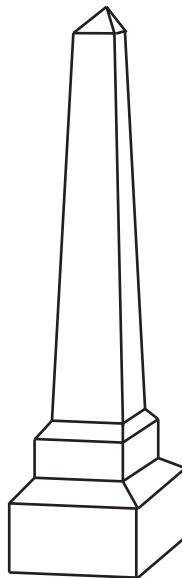
Box Tomb



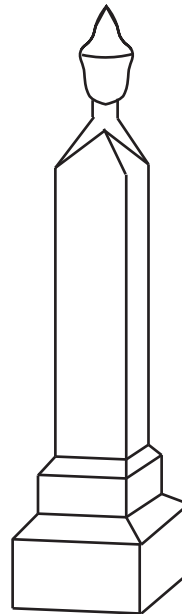
Ledger



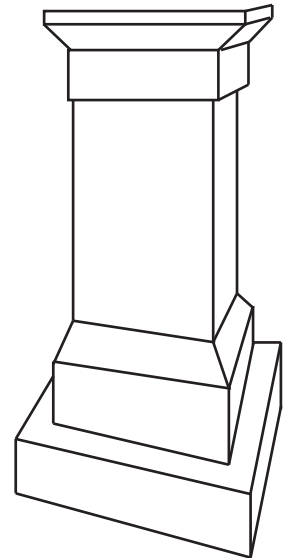
Bedstead



Obelisk



Pedestal Tomb-Urn



Die, Base, Cap

Landscaping

When additions or changes are being made to a cemetery, the historic layout needs to be preserved. Bordering of family plots with historic materials is recommended. Although the newer section does not exhibit this, the majority of the cemetery's family plots do.

Recommended

Preserve significant landscape features such as walkways, mature plants, fences, and coping.

It is important to note that the removal of trees with extensive root systems has the potential to disrupt resources and cause monuments and markers, fences, and walls to lean or topple if the roots are removed. In general, the removal of any trees or large shrubbery with extensive root systems should focus on the above-the-ground aspects of the tree, leaving the roots in place.

When considering the addition of new plant materials, traditional species existing in the cemetery should be used. If a non-historic species is desired, it is suggested that the new planting be native to the region and commonly found in other historic southeastern cemeteries.

It is recommended that rubber bumpers be installed on the deck area of mowers.

Not Recommended

Planting new vegetation with a significant root system that could interfere with or damage existing gravesites. Because it varies from species to species, consult with an arborist to determine the extent of a root system's potential impact and the appropriate distance away from a gravesite they may be planted.

Leaving plants untrimmed and growing on masonry. Any vegetation contacting with masonry elements such as headstones and coping can result in damage due to a plant's tendency to trap water and cause moisture accumulation.

Using pesticides, herbicides, and fertilizer in the cemetery. Acidic chemicals can damage limestone and marble. Alkaline chemicals damage granite.

Using power mowers near gravesites. Instead, grass and brush should be trimmed by hand when possible to prevent damage to gravestones.

Hardscapes

Several different types of hardscape features contribute to the integrity of Southview Cemetery. These include coping, plot bordering, paths, and fencing. If damage occurs, the repair of these features is recommended over replacement.

Recommended

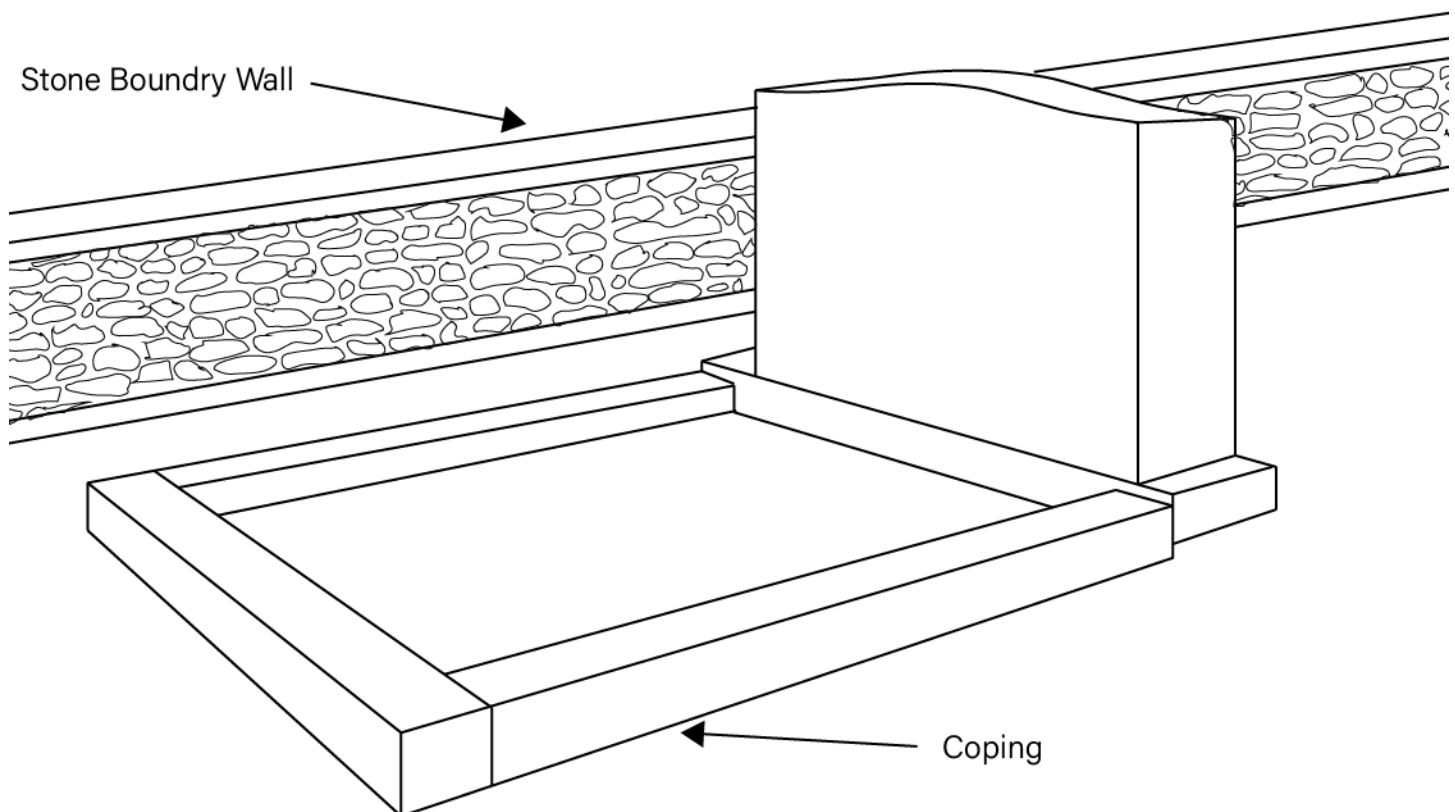
If historic hardscape features must be replaced, the replacement should match the existing element in material and form.

Existing paths and roads should be maintained using materials that match the existing ones. New pathways should match historic ones in scale and material.

Not Recommended

Using chain link, vinyl, wood fences, or other materials not in character with the cemetery to enclose individual or family plots.

Placing signs throughout the cemetery that detract from the historic integrity of the area or are not scaled properly for the setting. Instead, signs should be as minimalistic as possible.



7.0

OTHER CONSIDERATIONS

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OTHER CONSIDERATIONS

Maintenance of Existing Buildings

Maintenance of existing buildings is a crucial aspect of the historic preservation process. Derelict or neglected buildings can be visual distractions for an entire community. Ordinary maintenance and repair, which do not alter a building's appearance or cause changes in materials or design, do not require review by the Historic Preservation Commission. Should a building remain unused or vacant for an extended period of time, property owners are encouraged to take steps to protect it from deterioration.

Recommended

Measures should be taken to exterminate pests and vermin.

Efforts to prevent vandalism and break-ins should be adopted.

A regular maintenance and monitoring plan should be implemented.

Not Recommended

Failure to ensure the building is structurally stabilized.

No proper ventilation or protection against moisture in the historic building.

Relocation: Moving Historic Structures

The relocation or moving of a building, structure, site, or object within the historic district should be carefully considered. A historic building should be relocated only if all other preservation options have been exhausted. Section 16.52.280 of the Covington Historic Preservation Zoning Ordinance requires the submission of a COA for the demolition of a historic building.

Recommended

Properties that contribute to the area's historic character within their present setting should not be relocated.

When a property is approved for relocation, it should be moved to an area compatible with its historic and architectural character.

Not Recommended

Relocating a property if definite plans for the area to be vacated have a potentially adverse impact on the historic site's character.

Moving a property if relocation could have a potentially adverse effect on the property's structural integrity.

Paint Colors

The Covington Historic Preservation Commission does not review exterior colors. However, paint color is one of the most immediate characterizing elements of a building, and care should be taken to respect the historic integrity of both residential and commercial buildings.

The most accurate method of determining the historic paint color of a building involves paint analysis completed by a trained professional. While this level of documentation is certainly not standard practice for the average property owner; rather, paint analysis is more likely to be used during the restoration of a landmark building. Property owners can also chip a paint sample from an unobtrusive part of a building to try to determine what earlier colors might have been used.

For further direction on exterior paint color, please consult with the HPC staff member to view examples of appropriate colors.

Recommended

Exterior windows, doors, trim, and other architectural details should be painted in a way that reinforces the historical character of the building and is complementary to the time period.

Paint colors within the district should be complementary to surrounding buildings and should be limited to 2-3 complementary colors per building.

The gentlest means of cleaning should be used but must be performed prior to repainting.

Prior to painting, the Historic Preservation Commission should be consulted in order to abide by suggested standards for paint colors.

Not Recommended

Adding paint to copper, bronze, brick, or unpainted brick and stone. Masonry surfaces should take on the natural color of the brick or stone. Under the circumstance that the masonry surface was previously painted, compatible paint may be used following the proper cleaning and preparation.

Paint applied to surfaces that were historically not painted.

Using non-breathable coatings and paint containing zinc to cover any material or surface.

New Mixed-Use Developments

Historically, Covington’s downtown commercial buildings may have included office space or residential living space in the floors above the street level storefronts. The development of new mixed-use buildings of this variety provides an opportunity to merge the historic character of the downtown area with the demand for increased density and residential living spaces. Special care must be taken to ensure that these new developments are appropriate within the context of the historic environment of the square.

Recommended

Large-scale mixed-use construction should add a higher density of private property, but in a manner that supports and reinforces an active public sphere and a safe pedestrian environment.

Ground floor uses should reinforce the commercial nature of the street and contain businesses and architectural designs that typically generate customer traffic.

Not Recommended

Large-scale mixed-use developments that fail to adhere to the guidelines mandated in Sections 16.28 and 16.48 of the Covington Zoning Ordinance as well as the Guidelines for New Construction within this document.

Large-scale construction built on the streets that immediately front the square. This compromises the historic character of the square, which is comprised of smaller one to two-story structures

Residential to Commercial Construction

Where zoning allows, the conversion of residential buildings into commercial businesses may occur within Covington's historic districts. Certain unique circumstances may arise during such a conversion, and care should be taken to maintain the historic character of the building. Parking, Access and Egress, and Signage are all critical elements of commercial buildings that differ from residential use.

Although the converted building is being used as a commercial business, the original residential character and exterior appearance of the property should be maintained. Additions or new construction affecting the property's use as a historic residence should be reversible.

Recommended

The characteristics that define a building as a historic residence should be maintained, with the understanding that the building may one day be restored to private use.

Required alterations should be minimally intrusive and reversible.

Not Recommended

Failure to be in compliance with the Americans with Disabilities Act and the City of Covington's Fire Marshall.

Archaeology

Archaeological resources should be preserved in place. The location of original foundations, porches, outbuildings, walkways, and prehistoric activity can be determined through an archaeological survey. Any ground-disturbing activity should be done with care to preserve the historic site.

Recommended

Any ground-disturbing activity that exposes historic or prehistoric artifacts should be reported to the Historic Preservation Division of the Georgia Department of Natural Resources to seek instruction on how to proceed.

Any uncovered human remains must be immediately reported to the Georgia State Historic Preservation Division and the Police Department.

Not Recommended

Disturbing of terrain and damaging any archaeological resources. All losses should be mitigated.

Failure to avoid or preserve known archaeological resources.

8.0

APPENDICES

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Preservation Information

National and State Registers of Historic Places

Authorized by the National Historic Preservation Act of 1966 and maintained by the National Park Service (NPS), the National Register of Historic Places is part of a national program to coordinate and support public and private efforts to identify, evaluate, and protect America's historic and archeological resources.

The National Register of Historic Places is not a restrictive program. The National Register does not regulate what a property owner may or may not do with his or her property. It does not require an owner to maintain, repair, or restore a property. If an owner completes work on a property, there is no requirement to adhere to the Secretary of the Interior's Standards for Rehabilitation unless an application for a tax credit is requested.

Listings on the National Register might also be eligible for federal preservation tax incentives. In order to qualify for these credits, the structure must either be listed individually on the National Register or be a contributing structure within a National Register district. The property must be income-producing and rehabilitation work must be completed according to the Secretary of the Interior's Standards for Rehabilitation.

A property can also be listed on the Georgia Register of Historic Places. Once listed, properties may be eligible for two state tax incentive programs. In order to qualify for either program, the building must be certified for its historic significance, and rehabilitation projects must meet the Standards for Rehabilitation.

For more information about listing in the National Register of Historic Places or the Georgia Register of Historic Places, please visit the website for the Georgia State Historic Preservation Office (SHPO): <http://www.georgiashpo.org/>

Preservation Information Continued

Historic Preservation Tax Incentives

Preservation-guided rehabilitation can provide immediate benefits to property owners and the district at large by enhancing and maintaining the historic character of cities like Covington. However, owners of historic properties may also benefit from economic incentives when engaging in appropriate rehabilitation efforts, as government agencies recognize the importance of local preservation applications on regional and national levels.

The Georgia Department of Natural Resources, Historic Preservation Division (HPD) employs specialists who can guide property owners toward understanding what kind of tax incentives may apply to particular rehabilitation projects. It is important to note that the Covington Design Guidelines do not guarantee any inclusion in economic benefit programs, and property owners should consult with HPD before beginning any project if they wish to be considered for tax incentives. While the Covington Design Guidelines do use the Secretary of the Interior's Standards for Rehabilitation as a basis for explaining the proper implementation of preservation-sensitive construction and maintenance, property owners should be mindful that economic incentive recipients are responsible for ensuring that their projects meet the requirements of any tax benefit programs in which they wish to participate.

Preservation Briefs

The National Park Service maintains a collection of 47 articles by various preservation professionals geared towards helping inform the public about various conservation issues. These briefs can be found at the following website: <http://www.nps.gov/tps/how-to-preserve/briefs.htm>

Preservation Information Continued

Secretary of the Interior's Standards for Rehabilitation

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Contact Information and Resources

City of Covington

Planning and Development:

2194 Emory Street NW,
Covington, Ga. 30014
(770) 385-2020
<http://www.cityofcovington.org/>

Contact the City of Covington Planning and Development Department for Certificates of Appropriateness.

Main Street Covington:

Main Street Covington:
2104 Washington St SW,
Covington, GA 30014
Phone: (770) 385-2077
Fax: (770) 385-8481
www.downtowncovington.org

Covington's Main Street Program is a non-profit, volunteer organization committed to the preservation, improvement, development, and promotion of the city's downtown/central business district. The Main Street Program offers development grants, design consulting services, and small business development services.

Regional Resources

Northeast Georgia Regional Commission:

305 Research Drive
Athens, GA 30605-2725
(706) 369-5650
<http://www.negrc.org/historic-preservation.php>

The NEGRC supports governments in addressing planning issues, providing assistance and programs for economic development needs. The NEGRC website details the historic preservation programs active.

Contact Information and Resources Continued

State Resources

State Historic Preservation Office:

Georgia Department of Natural Resources Historic Preservation Division
Jewett Center for Historic Preservation
2610 GA Hwy 155, SW
Stockbridge, GA 30281
770-389-7844
<http://www.georgiashpo.org/>

The State Historic Preservation Office (SHPO) website features information on Georgia's architectural history, preservation tax incentives, the National Register of Historic Places, and other preservation programs. The SHPO approves and regulates historic preservation grants for Certified Local Governments (CLGs). More information on CLGs can be found in the Forms and Fact Sheets section of this appendix. Visit the SHPO website for community assistance links, historic preservation ordinances, information on economic tools, and national and statewide historic resources.

Georgia Department of Economic Development:

75 Fifth Street, N.W., Suite 1200 Atlanta, GA 30308
404-962-4000
1-800-255-0056 (TDD) <http://www.georgia.org>
The Georgia Department of Economic Development

(GDEcD) plans, manages, and mobilizes state resources to attract new business investment to Georgia, drive the expansion of existing industry and small business, locate new markets for Georgia products, inspire tourists to visit Georgia and promote the state as a top destination for arts events and film, music and digital entertainment projects.

Georgia Municipal Cemetery Association:

330 Bonaventure Rd
Savannah, GA 31404
<http://www.gmcaweb.org/>

The Georgia Municipal Cemetery Association (GMCA) is a professional network of officials and staff members from various levels of municipal government dedicated to the conservation and protection of historic municipal cemeteries. GMCA administration is divided into eight districts across the state, with Newton County falling into Region 3.

Contact Information and Resources Continued

Georgia Alliance of Preservation Commissions:

<http://www.georgiahpcs.org/>

The Georgia Alliance of Preservation Commissions provides education and training resources for those involved in the historic preservation planning process.

Georgia Trust for Historic Preservation Rhodes Hall

1516 Peachtree Street, NW

Atlanta, GA 30309

404-881-9980

<http://www.georgiatrust.org>

The Georgia Trust for Historic Preservation is a state-wide non-profit organization that offers educational programs, design assistance, and activist efforts to aid in the preservation of buildings.

Georgia Department of Community Affairs:

60 Executive Park South, NE

Atlanta, GA 30329

(404) 679-4940

(800) 359-4663

(877) 204-1194 (TDD)

<http://www.dca.ga.gov/>

The Georgia Department of Community Affairs provides partnerships with communities to promote and implement local economic development. The DCA also houses the state Main Street office, which assists the local Covington Main Street program.

National Resources

The National Trust for Historic Preservation:

Eastern Field Services

517 Savannah Highway

Charleston, South Carolina 29407 843.722.8552

<http://www.preservationnation.org/>

The National Trust is a national non-profit that provides educational and public awareness resources concerning historic preservation across the country.

Contact Information and Resources Continued

National Alliance of Preservation Commission

208 E Plume St, Suite 327

Norfolk, VA 23510

757-802-4141

<http://napcommissions.org/>

Advisory Council on Historic Preservation 401 F Street NW, Suite 308

Washington, DC 20001-2637

(202) 517-0200

<http://www.achp.gov>

The National Alliance of Preservation Commissions provides education and training resources for those involved in the historic preservation planning process.

The National Main Street Center:

2600 Virginia Avenue NW, Suite 1100 Washington, DC 20037

(202) 588-6000

<http://www.mainstreet.org>

The National Main Street Center, a non-profit organization and program of the National Trust, , provides information, offers technical assistance, holds conferences and workshops, and conducts research and advocacy on critical revitalization issues. The National Main Street Center oversees the various state and local Main Street programs around the country.

The Advisory Council on Historic Preservation:

401 F Street NW, Suite 308

Washington, DC 20001-2637

(202) 517-0200

<http://www.achp.gov>

(ACHP) is a federal agency that advises the President and Congress on national historic preservation policy. The ACHP website hosts several documents designed to provide users with a better understanding of the legal regulations related to historic preservation.